



**City of Apopka
Planning Commission
Meeting Agenda
October 11, 2016
5:30 PM @ City Council Chambers**

I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a “Notice of Intent to Speak” card to the Recording Secretary.

II. OPENING AND INVOCATION

III. APPROVAL OF MINUTES:

1. Approve minutes of the Planning Commission regular meeting held September 13, 2016, at 5:30 p.m.

IV. PUBLIC HEARING:

1. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Owned by Apopka Holdings, LLC, from “County” Low Density Residential (0-4 du/ac) to “City” Office (Max. FAR 0.30), for property located at 1120 Clarcona Road and 1124 South Park Avenue. (Parcel ID #s: 09-21-28-0197-10-211 & 09-21-28-0197-10-213)
2. CHANGE OF ZONING – Owned by Apopka Holdings, LLC, from “County” R-3 (Residential) to “City” Planned Unit Development (PUD; PO/I; Residential), for property located at 1120 Clarcona Road and 1124 South Park Avenue. (Parcel ID #s: 09-21-28-0197-10-211 & 09-21-28-0197-10-213)

V. SITE PLANS:

1. PLATS – SILVER OAK SUBDIVISION, PHASES 1 AND 2 - Owned by Development Solutions SH, LLC, c/o Christian Swann, property located north of East Keene Road, west of Sheeler Avenue. (Parcel ID #s: 22-21-28-0000-00-078; 22-21-28-0000-00-079; 22-21-28-0000-00-081; 22-21-28-0000-00-082; 22-21-28-0000-00-105; 22-21-28-0000-00-108; 22-21-28-0000-00-109; 22-21-28-0000-00-114; 22-21-28-0000-00-117; 22-21-28-0000-00-122)
2. PRELIMINARY DEVELOPMENT PLAN – TRACTOR SUPPLY – Owned by Michael L. Hart, Margie A. Hart and Apopka Regional Properties, LLP, property located at 180 East 1st Street. (Parcel ID #s: 09-21-28-0196-10-040, 09-21-28-0196-10-064 and 09-21-28-0196-10-122)

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

Backup material for agenda item:

- 1 Approve minutes of the Planning Commission regular meeting held September 13, 2016, at 5:30 p.m.

MINUTES OF THE PLANNING COMMISSION MEETING HELD ON SEPTEMBER 13, 2016, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.

MEMBERS PRESENT: James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, and Linda Laurendeau

ABSENT: Jose Molina, Roger Simpson, and Orange County Public Schools (Non-voting)

OTHERS PRESENT: Mark Reggentin, AICP – Community Development Director, David Moon, AICP - Planning Manager, Andrew Hand, Esq., Kyle Wilkes, AICP – Planner II, Elizabeth Florence – Planner, Robert Sargent – Public Information Officer, Theresa Sargent, Jeff Banker, Chris Gardner, Chad Moorhead, John Brendel, Kim Dunn, Elizabeth Lentz, J. David Knapp, Joel Mass, Jeff Welch, Suzanne Kidd, Frank Costantino, and Jeanne Green – Community Development Department Office Manager/Recording Secretary.

OPENING AND INVOCATION: Chairman Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

APPROVAL OF MINUTES: Chairperson Greene asked if there were any corrections or additions to the regular meeting minutes of August 9, 2016, at 5:30 p.m. minutes.

Motion: **Robert Ryan made a motion to approve the Planning Commission minutes from the regular meeting held on August 9, 2016, at 5:30 p.m. and seconded by Melvin Birdsong. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, and Linda Laurendeau (5-0).**

LEGISLATIVE - COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – EQUITY WATERS EDGE, LLC - Chairperson Greene stated this is a request to recommend approval of the Small Scale Future Land Use amendment from “County” Rural (0-1 du/10 ac) to “City” Mixed Use for the property owned by Equity Waters Edge, LLC, c/o David Shapiro and located at 1850 South Binion Road.

Staff Presentation: Kyle Wilkes, AICP, Planner II, stated this is a request to recommend approval of the Comprehensive Plan Small Scale Future Land Use amendment from “County” Rural (0-1 du/10 ac) to “City” Mixed Use for the property owned by Equity Waters Edge, LLC, c/o David Shapiro. The property is located at 1850 South Binion Road. The existing use is vacant land and the proposed use is a single-family residential subdivision. The proposed zoning designation is “City” Mixed-EC. The existing maximum allowable development is 1 dwelling unit and the proposed maximum allowable development is 15 units per acre. The tract size is 5.6 +/- acres.

Presently, the subject property has not yet been assigned a “City” Future Land Use Designation or a “City” zoning category. Applicant is requesting the City to assign a future land use designation of Mixed Use to the property.

The subject property has been annexed into the City of Apopka. The annexation occurred on June 5, 2013, through the adoption of Ordinance No. 2303. The proposed Small-Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a Future Land Use Designation of Mixed Use is compatible with the designations

assigned to abutting properties. The FLUM application covers approximately 5.6 acres.

The parcel owner – Equity Waters Edge, LLC – also owns abutting parcels to the south, combining these for a future development site of approximately 75 acres. A Preliminary Development Plan is under review by the City’s Development Review Committee for a single family residential community.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

The proposed use of the property is consistent with the Mixed Use Future Land Use designation and the City’s proposed Mixed Use Zoning. Site development cannot exceed the intensity allowed by the Future Land Use policies.

No more than nine residential homes will be constructed on the 5.6 acre site. Pursuant to the School Planning Agreement, nine or less residential units is considered a de minimus impact on schools. Therefore, this 5.6 acre site is exempt from School Capacity Enhancement review. However, school concurrency review will occur at the time of a preliminary or final development plan.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on August 12, 2016.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in Future Land Use from “County” Rural (1 du/ 10 ac) to “City” Mixed Use for the property owned by Equity Waters Edge, LLC and located at 1850 S. Binion Road.

Recommend to amend the Future Land Use Map designation from “County” Rural to “City” Mixed Use.

This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Land Use Analysis: The general character of the area surrounding the subject property is compatible with the development of mixed uses. The subject property fronts and is accessed by a local roadway (S. Binion Rd.) and has access to Harmon Rd.

Wekiva River Protection Area: No
Area of Critical State Concern: No
DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is not located within “Core Area” of the JPA.

Redevelopment: Policy 3.13. No non-conforming structure shall be substantially expanded.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2

- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The property fronts S. Binion Rd. The vegetative communities present are urban; the soils present are Candler fine sand, Canova sand, and Tavares sand; and no wetlands occur on the site, and the terrain has a 0-12 percent slope.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.r. Mixed-Use Future Land Use designation.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Mixed Use. Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population.

Calculations:

Adopted (County designation): 1 Unit(s) x 2.659 p/h = 2.659 persons
Proposed (City designation): 15 Unit(s) x 2.659 p/h = 223 persons

Housing Needs: This amendment may negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the City of Apopka Utilities service area for potable water, reclaimed water and sanitary service.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita; 81 GPD / Capita.
If the site is not currently served, please indicate the designated service provider: City of Apopka
2. Projected total demand under existing designation: 196 GPD
3. Projected total demand under proposed designation: 53,054 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka; 177 GPD/Capita; 177

GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 210 GPD
3. Projected total demand under proposed designation: 66,427 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: None
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 12 lbs./person/day
4. Projected LOS under proposed designation: 1380 lbs./day/1000 sf
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 21,981 GPD

Total design capacity of the water treatment plant(s): 33,696 GPD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year - 25 hour design storm
3. Projected LOS under proposed designation: 100 year - 25 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.009 AC
3. Projected facility under proposed designation: 0.669 AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: **Melvin Birdsong made a motion to find the application consistent with the Apopka Comprehensive Plan and the Land Development Code; and to recommend approval of the Small Scale Future Land Use Amendment from “County” Rural (0-1 du/10 ac) to “City” Mixed Use for the property owned by Equity Waters Edge, LLC, and located at 1850 South Binion Road. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, and Linda Laurendeau (5-0). (Vote taken by poll.)**

SWEARING-IN - Mr. Hand swore-in staff, the petitioners, and affected parties.

QUASI-JUDICIAL - CHANGE OF ZONING – EQUITY WATERS EDGE, LLC - Chairperson Greene stated this is a request to recommend approval of the Change of Zoning from “County” A-1 (Rural) to “City” Mixed-EC (Mixed Use) for property owned by Equity Waters Edge, LLC, c/o David Shapiro and located at 1850 South Binion Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item.

Ms. Laurendeau stated that she had e-mailed staff with regard to whether a habitat study would be conducted.

In answer to Ms. Laurendeau’s inquiry, Mr. Wilkes stated that although the size of the subject parcel did not trigger the requirement for a habitat study, once it is incorporated into the entire project property a habitat study will be required.

Staff Presentation: Mr. Wilkes stated this is a request to recommend approval of the Change of Zoning from “County” A-1 (Rural) to “City” Mixed-EC (Mixed Use) for the property owned by Equity Waters Edge, LLC, c/o David Shapiro. The property is located at 1850 South Binion Road. The existing use is vacant land and the proposed use is a single-family residential subdivision. The proposed zoning designation is “City” Mixed-EC. The existing maximum allowable development is 1 dwelling unit and the proposed maximum allowable development is 15 units per acre. The tract size is 5.6 +/- acres.

Presently, the subject property has not yet been assigned a “City” Future Land Use Designation or a “City” zoning category. Applicant is requesting the City to assign a future land use designation of Mixed Use to the property.

Applicant is requesting the City to assign a zoning classification of Mixed-EC (Mixed Use) to the property, consistent with the proposed Mixed Use future land use designation.

A request to assign a change of zoning to Mixed-EC (Mixed Use) is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The property owner is requesting the Mixed-EC (Mixed Use) zoning classification to accommodate the use of the property to have the potential to be single family residential. The subject property abuts nurseries along S. Binion Rd. that have a zoning of Mixed-EC. City staff supports this change of zoning request due to the Ocoee Apopka Road Small Area Study results. This change of zoning application is being processed in conjunction with a small scale future land use amendment for Mixed Use. The proposed use is consistent with the proposed future land use, proposed zoning district and compatible with the general character of surrounding zoning and uses.

The change of zoning application covers approximately 5.6 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

The proposed use of the property is consistent with the Mixed Use Future Land Use designation and the City’s proposed Mixed Use Zoning. Site development cannot exceed the intensity allowed by the Future Land Use policies.

No more than nine residential homes will be constructed on the 5.6 acre site. Pursuant to the School Planning Agreement, nine or less residential units is considered a de minimus impact on schools. Therefore, this 5.6 acre site is exempt from School Capacity Enhancement review. However, school concurrency review will occur at the time of a preliminary or final development plan.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on August 12, 2016.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in zoning from County A-1(Agriculture) to Mixed-EC (Mixed Use) for the property owned by Equity Waters Edge, LLC.

Find the change of zoning to Mixed-EC (Mixed Use) consistent with the Comprehensive Plan and Land Development Code and recommend adoption subject to adoption of the Proposed Future Land Use Designation.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Land Use & Traffic Compatibility: The subject property fronts and is accessed by a local roadway (S. Binion Rd.) and has access to Harmon Rd.

Comprehensive Plan Compliance: The proposed Mixed-EC (Mixed Use) zoning is consistent with the City’s Mixed Use (15 DU/AC) Future Land Use designation and with the character of the surrounding area. The Mixed-EC (Mixed Use) zoning classification is one of the acceptable zoning categories allowed within

the proposed Mixed Use Future Land Use Designation. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

Mixed Use-EC District Requirements:

Floor Area Ratio (%):	25 min. 100 max.
Minimum Site Area:	Not applicable
Minimum Lot Width	Varies; based on master plan
Setbacks:	Front: 15 ft. (From property line)
	Rear: 10 ft.
	Side: 0 ft.
	Corner 10 ft.

Based on the above zoning standards, the subject parcel does meet code requirements for the Mixed-EC (Mixed Use) district.

Bufferyard Requirements: Buffer yards shall be consistent with the zoning district for the proposed use, unless otherwise noted in the Mixed-EC zoning district standards. For example, single-family developments shall follow the buffer requirements of the single-family zoning districts, commercial uses shall follow the buffering of the applicable commercial zoning district, etc. Buffers may be waived or varied in mixed-use buildings and projects when compatible uses and appropriate building/parking relationships are demonstrated and strong pedestrian connectivity and well-planned vehicular connectivity are provided.

Allowable Uses: Single-Family detached residential development; duplex; multi-family residential; commercial, office, industrial, and institutional uses subject to the intensities, development standards, and land use mix criteria set forth of the Mixed-EC zoning district.

Petitioner Presentation: Chad Moorhead, Madden Moorhead & Glunt Inc., 431 East Horatio Avenue, Maitland, stated that he was available to answer any questions and, with regard to Ms. Laurendeau’s concern, whether it was a requirement or not, they would do a habitat study.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Robert Ryan made a motion to find the application consistent with the Apopka Comprehensive Plan and Land Development Code, and recommend adoption of the change of zoning from “County” A-1 (Rural) to “City” Mixed-EC (Mixed Use) for property owned by Equity Waters Edge, LLC, and located at 1850 South Binion Road. Motion seconded by Tony Foster. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, and Linda Laurendeau (5-0). (Vote taken by poll.)

QUASI-JUDICIAL – MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN – ROBERT K. DUNN ET.AL. - Chairperson Greene stated this is a request to recommend approval of the amendment to the Dunn/Dixie Major PUD Master Plan and the Preliminary Development Plan owned by Robert K. Dunn, Et. Al. and located north of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak.

Frank Costantino, 639 Richard L. Mark Drive, Apopka, requested affected party status as his property is adjacent to the subject property.

The Planning Commission unanimously agreed that Mr. Costantino was an affected party.

Mr. Hand swore-in Mr. Costantino.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. None.

Staff Presentation: David Moon, AICP, Planning Manager stated this is a request to recommend approval of the amendment to the Dunn/Dixie Major PUD Master Plan and the Preliminary Development Plan owned by Robert K. Dunn, Et. Al. and located north of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway. The existing use is vacant land. The proposed use is an assisted living facility with a maximum of 125-bed facility within a one and two story building. The maximum flood area ratio is .030. The proposed amendment increased the FAR (floor area ratio) from 0.25 to 0.30. The existing maximum allowable development is 76,121 sq. ft. and the proposed maximum allowable development is 91,345 sq. ft. The tract size is 6.9951.88 +/- acres.

On April 14, 2014 through Ordinance 2355, City Council adopted a Planned Unit Development zoning and a Master Plan\Preliminary Development Plan for the Robert K. Dunn et.al. property. The PUD master plan establishes a maximum floor area ratio of 0.25, which allows for building (s) with a maximum floor area of 76,121 square feet, for a proposed Assisted Living Facility (ALF) with up to 125 beds. A proposed ALF is similar to uses allowed with the Professional Office\Institutional zoning district, which allows a maximum floor area ratio of 0.30 for buildings. The original building proposed for the applicant was only 76,000 sq. ft., which represents a floor area ratio of 0.25 for this property. Thus, the applicant requested a 0.25 FAR instead of a 0.30 floor area ratio allowed by the Professional Office\Institutional zoning district. The building proposed by the applicant, as presented in architectural renderings and within the proposed Master Plan, contains approximately 87,000 sq. ft. floor area. Although the proposed building has more floor area than the previously approved Master Plan, the maximum number of beds – 125 beds – does not change. All the other development standards approved within the current PUD zoning and Master Plan\Preliminary Development Plan remain the same.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

Planning staff finds the proposed amendment to the Planned Unit Development to be consistent with the Comprehensive Plan and Land Development Code.

The amendment to the Planned Unit Development will not impact capacity at affected public schools. If the property owner proposes residential development, then school capacity review will be required as part of the PUD amendment application.

The property is surrounded by properties that are within the City limits of Apopka; therefore the notice requirements in the JPA do not apply.

The Development Review Committee finds the proposed amendment to the Dunn\Dixie Manor PUD zoning and Master Plan\Preliminary Development Plan to be consistent with the Comprehensive Plan and Land Development Code recommends approval of the amendment to the Planned Unit Development zoning and Master Plan\Preliminary Development Plan.

The recommended motion is to find the proposed amendment to the Dunn\Dixie Manor PUD zoning and Master Plan\Preliminary Development Plan to be consistent with the Comprehensive Plan and Land Development Code recommends approval of the amendment to the Planned Unit Development zoning and Master Plan\Preliminary Development Plan.

The Planning Commissions' role is to recommend to approve, deny, or approve with conditions.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting. Role of the Planning Commission in this case is advisory to the City Council.

Land Use & Traffic Compatibility:

South: Old Dixie Highway, a two-lane collector road, lies to the south of the subject property and the Lowes Home Retail Center. The land south of Old Dixie Highway is assigned a Commercial future land use designation and a zoning category of C-1.

West: Across Richard L. Mark Drive is a 1.4 acre heavily wooded parcel covered by oak trees. This parcel is owned by the City of Apopka and assigned a Park\Recreation future land use and zoning category that serves as open space. At the northwest corner of the subject property is the Villa Capri residential community. Villa Capri is assigned PUD zoning as part of the Errol Estate community. The typical lot is 51 feet wide with a typical area of about 5,700 sq. ft. Along the east side of Villa Capri is a ten-foot wide five to six foot high masonry wall. The right-of-way for Richard L. Marks Drive is 100 foot wide with landscaping and mature oak trees bordering the road. There is a twenty (20) foot wide landscaped median that contains mature oak trees.

North: To the north of the subject property, a 1.76 acre retention pond separates the subject property from most of the residential homes to the north within the Parkside at Errol Phase 3 residential subdivision. With the exception of one single family lot at the subject property's northwest corner and one single family lot at the northeast corner. Residential lots to the north range from 300 feet to zero feet from the subject property. Lots typically are 80 to 85 feet wide with a typical lot size ranging from 9,200 sq. ft. to 11,050 sq. ft.

East: There is a ten foot wide landscape buffer that runs along the eastern parcel line of the subject property that is adjacent to residential lots within another section of Parkside at Errol Phase 3. Single family lots adjacent to the eastern side of the subject property have typical lots with a 75 foot minimum width and a lot size ranging from 9,200 sq. ft. to 11,000 sq. ft.

Summary: The property owner requests assignment of a zoning category that is consistent with the proposed Residential Medium Future Land Use Designation. Planning staff finds the zoning category to be consistent a Residential Low-Medium Future Land Use Designation subject to the PUD master site plan/preliminary development plan and the recommended PUD development standards.

Comprehensive Plan Compliance: The proposed Planned Unit Development (PUD/R-3) zoning is not consistent with the City's Residential Medium (0-10 du/ac) Future Land Use designation. However, Planning staff finds the proposed zoning to be compatible with a Low-Medium (0-7.5 du/ac) Future Land Use designation. Development Plans shall not exceed the intensity or density allowed for the adopted Future Land Use Designation.

PUD Recommendations: The PUD recommendation is to assign a zoning classification of Planned Unit Development (PUD) for the described subject property with the following Master Plan provisions is subject to the following zoning provisions:

A. The uses permitted within the PUD district shall be:

1. A maximum of one-hundred twenty-five Assisted Living Facility (ALF) beds or 38 permanent residential. For any Assisted Living Facility, such use shall meet the State of Florida definition for an Assisted Living Facility, at least eight (80) percent of the beds shall be occupied by those age 55 of over, and the ALF shall follow a policy that demonstrates an intent to provide residential care for those aged 55 or older. A nursing home, group home facility, foster home, drug or alcohol detox center or rehabilitation center or similar emergency shelter are not permissible uses under this PUD zoning ordinance unless as otherwise superseded by Florida Statutes.
2. Any building other than single family residential shall be setback a minimum of one hundred (100) feet from the northern and eastern property line, units and fifty (50) feet from the western property line.
3. Outdoor storage shall not be allowed.
4. No recreation or similar outdoor activities (walking path, gathering places etc.) shall occur within twenty (20) feet of the property line excepting any public sidewalk along Old Dixie Highway.
5. No outdoor activities shall occur after 9:00 PM or before 7:00 AM. Delivery services for shall be limited to similar hours.
6. Regular visitor hours shall be limited to no earlier than 7:00 AM and not later than 11:00 PM except for emergency purposes.
7. Any use or activity allowed within the R-3 residential zoning category exception as otherwise noted herein. Duplex residential units shall not be allowed.

B. Development Standards:

1. Development standards and setbacks shall comply with those established for the R-3 zoning category unless otherwise approved herein or within the Master Site Plan.
2. Maximum number of stories: two (2)
3. A thirty (30) foot landscape buffer shall occur along the northern and eastern property lines, and a fifteen (15) foot landscape buffer along the western property line.
4. Monument sign (identification sign) shall be limited to no more than 24 square feet and no electronic reader board will be allowed. The monument sign may be placed within the front yard along Old Dixie Highway near the site driveway entrance. No signage shall be allowed along Richard L. Mark Drive. No wall sign or other signage will be allowed except for on-site directional signage, unless otherwise allowed by the City's sign codes for special event or grand opening.
5. No outdoor illumination shall spillover into residential areas.

6. All trees and landscaping within the perimeter buffers shall be allowed to grow and will be maintained to a height to screen the ALF building from adjacent residential areas.
 7. Architectural design of the building shall be generally consistent with that approved with the PUD ordinance unless otherwise approved by the City Council.
 8. Changes to the Master Site Plan\Preliminary Development Plan or architectural design considered to be insignificant may be approved by the Community Development Director.
 9. Employee parking shall occur at the southwest parking area and visitor parking directed to the southeast parking area. On-site direction signage shall be posted to direct visitor parking as such.
 10. Driveway access to Richard L. Mark Drive will not be allowed.
- C. The Master Plan Site\Preliminary Development Plan is hereby approved and is part of the PUD zoning ordinance.
- D. The R-3 zoning standards shall apply to the development of the subject property unless as otherwise addressed within the PUD ordinance.

Comprehensive Plan Compliance: The proposed City PUD zoning is not consistent with the City's Residential Medium (0-10 du/ac) Future Land Use designation. However, DRC finds that the proposed PUD zoning is consistent with the residential Low-Medium (0-7.5 un/ac) Future Land Use designation. Development Plans shall not exceed the density and intensity allowed in the adopted Future Land Use Designation.

In response to a question by Mr. Ryan, Mr. Moon stated a portion of the building will be one-story while the rest of the building will be two-story for a height of 35 feet. Based on the original zoning of R-3, if an apartment building had been erected they would have been allowed a three-story building and the setbacks would have been reduced.

In response to a question by Mr. Foster, Mr. Moon stated that only amendment being considered at this time is changing the floor area ratio (FAR) from 0.25 to 0.3.

Petitioner Presentation: Joel W. Hass, MJM Associates, LLC, 1030 North Orange Avenue, Orlando, stated the project is called Canterwood Manor. It will be an assisted living facility with a maximum of 125 beds. The facility will provide cognitive therapies and programs that specifically cater to patients with Alzheimer's disease, dementia and other types of memory problems. The facility will provide 24-hour supervised care within four separate wings or "neighborhoods" in addition to the opportunity for social events in a residential type setting rather than an institutional setting.

Mr. Hass introduced David Knapp with Haskell engineering.

In response to questions by Mr. Ryan, Mr. Hass stated that their facility would not have patients who will require oxygen or ventilation. He said those types of services would be provided in a nursing home setting. He said that they would contact the power company to look into the possibility of obtaining priority service, such as a hospital might have, during a power outage.

In response to questions by Mr. Foster, Mr. Hass stated that the difference between an assisted living facility and a nursing home is that a nursing home provides more advanced end-of-life care such as for those

persons who require oxygen or need to be ventilated or those who are bed-ridden. Normally hospice is also available. An assisted living facility is for people who are ambulatory and are able to participate in normal everyday activities. The clients will also be able to leave the facility and come back.

Affected Party Presentation: Mr. Costantino stated that he had purchased his home on Richard L. Mark Drive about six months ago and expressed his concerns regarding the wall being visible from his back yard and there not being any type of landscaping next to the wall.

Mr. Hass stated that the code did not require that they landscape the back of the wall.

Mr. Moon said that when the project had originally been submitted for review and approval, a community meeting was held to obtain the area residents comments on the project. As a result of that meeting, the residents' comments and concerns were taken into consideration when the plan was finalized. This included the wall. The current amendment only addresses the increase to the floor area ration for the building. Nothing else on the plan will change.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Linda Laurendeau made a motion to find the application consistent with the Apopka Comprehensive Plan and Land Development Code, and recommend adoption of the amendment to the Manor PUD Master Plan to increase the Floor Area Ratio (FAR) From 0.25 to 0.3 for the property Dunn/Dixie Manor owned by Robert K. Dunn, t al and located north of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway. Motion seconded by Melvin Birdsong. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, and Linda Laurendeau (5-0). (Vote taken by poll.)

QUASI-JUDICIAL - PUD MASTER PLAN AMENDMENT - ORCHID ESTATES - Chairperson Greene stated this is a request to recommend approval of the amendment to the PUD Master Plan for Orchid Estates, owned by JTD Land at Orchid Estates, c/o James Fant, and located south of Kelly Park Road, west of Jason Dwelley Parkway.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. None.

Staff Presentation: Mr. Moon stated this is a request to recommend approval of the amendment to the PUD Master Plan for Orchid Estates owned by JRD Land at Orchid Estates, c/o James Fant, and located south of Kelly Park Road, west of Jason Dwelley Parkway. The existing use is vacant land. The only change to the Master Plan is that the ownership of Tracts "B" and "F" will change from the City of Apopka to the Orchid Estates Homeowners Association. The land use for Tract "B" will change from being a City fire station site to open space/tot lot that will serve the 112 lots within the Orchid Estates PUD. The existing and proposed maximum allowable development is 112 dwelling units. The combined tract size is 60.82 +/- acres.

Orchid Estates PUD is located on the west side of Jason Dwelley Parkway, generally south of Spinfisher Drive and north of Apply Lane.

The applicant requests to change the future ownership of Tracts “B” and “F” from the City of Apopka to the Homeowners Association. City staff notified JTD Land at Apopka, LLC several months ago that a fire station site within the project boundaries was not needed because an alternative site was identified, and that the City does not need the 17.2 acre site for open space purposes. JTD Land agreed to amend the PUD Master Plan to change the ownership of two parcels from City ownership to HOA ownership. Tract “B” was originally proposed to serve as a site for a new City fire station. However, the City has made a decision to locate this new fire station at a more strategic location at a site along the east side of Jason Dwelley Parkway, across from the Northwest Regional Recreation Facility. The City of Apopka owns this preferred site. Orchid Estates is currently under construction, and model homes are proposed to begin construction within a few months. Approval of the amendment to the PUD Master Plan will allow administrative amendment of the Final Development Plan to address the same change in ownership of Tract “B” and Tract “F”.

The City’s Development Review Committee supports the change in the ownership of Tract “B” and Tract “F” to the homeowners association. Dedication of Tract “F” will require the City to pay for the cost to maintain 17.2 acres of open space that is internal to a residential community. A different site along Jason Dwelley Parkway has been selected for a future fire station. Tract “B” will not be needed for this purpose.

PUD Description: A single family residential community with a total of 112 lots. The minimum lot size is 70’ x 115’ (8,050 sq. ft.) with a minimum living area of 1,500 square feet as allow by the Land Development Code.

Minimum Site Area:	7,500 sq. ft.
Minimum Lot Width:	70’
Setbacks:	Front: 25’
	Side: 10’
	Rear: 20’
	Corner: 20’
Minimum Living Area:	1,500 sq. ft.

Allowable Uses: Single Family Residential homes and their associated uses.

The subdivision has two access points off of Jason Dwelley Parkway. The property owner has control over the lands adjacent to the north. An ingress/egress easement in favor of the applicant for legal access to the project runs along the southern property line of the Ever Meadow LLC parcel to reach the

The stormwater management system includes two on-site retention areas. The stormwater design meets the City’s Land Development Code requirements.

The applicant is proposing landscaped buffer areas adjacent to the agricultural uses located to the north and south of the property. This residential community will include a 17.17 acre woodland park and a two-acre tot lot.

The applicant has proposed reserved 17.17 acres of land for open space within Tract “F” in lieu of going through the tree mitigation process. This will preserve the mostly wooded area on the site as a City Park.

The proposed amendment to the Orchid Estates PUD zoning and Master Plan are consistent with the City’s proposed Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies.

This PUD Master Plan is located on a site with a previously approved Final Development Plan. This final development plan is exempt from school concurrency because it was approved by the City prior to the effective date of school concurrency. School impact fees will be paid with each building permit application for a single family home.

The JPA requires the City to notify the County before any public hearing or advisory board. The City properly notified Orange County on August 12, 2016.

The Development Review Committee recommends approval of Amendment to the Orchid Estates Planned Unit Development and the Master Plan.

The recommended Motion is to find the Amendment to the Orchid Estates Planned Unit Development Zoning and the Master Plan to be consistent with the Comprehensive Plan and Land Development Code, and recommend to approve.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting. Role of the Planning Commission in this case is advisory to the City Council.

Land Use & Traffic Compatibility: A transportation study was prepared with the adopted Orchid Estates PUD, and the number of residential units has not increased. No additional transportation study is needed. The amendment to the PUD zoning and Master Plan does not changes the subdivision design and stormwater management plan, but no increase in residential units or density is proposed.

Bufferyard Requirements: No changes to the buffers are proposed with the PUD amendment.

Allowable Uses: Single-family dwellings and their customary accessory structures and uses in accordance with article VII of this code. Supporting infrastructure and public facilities of less than five acres as defined in this code and in accordance with Section 2.02.01 of the LDC.

In response to a question by Mr. Foster, Mr. Moon stated that the ownership of the two parcels, "B" and "F," were never transferred to the City. This amendment removes the dedication to the City from the master plan.

Petitioner Presentation: Chris Gardner, Condev Corporation, 1270 North Orange Avenue, Winter Park, stated he represents JTD Land at Orchid Estates and was available to answer any questions.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Tony Foster made a motion to find the application consistent with the Apopka Comprehensive Plan and Land Development Code, and recommend adoption of the amendment to the Orchid Estates PUD Master Plan owned by JTD Land at Orchid Estates, located south of Kelly Park Road, west of Jason Dwelley Parkway; and subject to the information and findings in the staff report. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, and Linda Laurendeau (5-0). (Vote taken by poll.)

QUASI-JUDICIAL - PRELIMINARY DEVELOPMENT PLAN – NORTHWEST DISTRIBUTION CENTER – BUILDING D – Chairperson Greene stated this is a request to recommend approval of the Preliminary Development Plan for the Northwest Distribution Center – Building “D” owned by Oakmont Apopka Road, LLC. The applicant is Oakmont Industrial Group, c/o Jimmy Stainback. The engineer is Highland Engineering, Inc., c/o Jeffrey W. Banker, P.E. and the architect is GMA Architects. The property is located on Ocoee Apopka Road between S.R. 451 and Ocoee-Apopka Road and east of Boy Scout Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. None.

Staff Presentation: Mr. Moon stated this is a request to recommend approval of the Preliminary Development Plan for the Northwest Distribution Center – Building “D” owned by Oakmont Apopka Road, LLC. The applicant is Oakmont Industrial Group, c/o Jimmy Stainback. The engineer is Highland Engineering, Inc., c/o Jeffrey W. Banker, P.E. and the architect is GMA Architects. The property is located on Ocoee Apopka Road between S.R. 451 and Ocoee-Apopka Road and east of Boy Scout Road. The land use is Industrial and the zoning designation is I-1. The existing use is vacant land and the proposed use is an industrial warehouse (167,270 sq. ft.) with an office complex (13,730 sq. ft.) for a total building size of 180,000 sq. ft. The tract size is 16.43 +/- acres. The overall site is 45.09 +/- acres.

The Northwest Distribution Facility Building D - Preliminary Development Plan proposes an 180,000 square feet industrial warehouse and office space.

A total of 187 parking spaces are provided (330 required by code) of which 6 are reserved as a handicapped parking space. The applicant has requested to defer and waive 143 of the parking space requirement for the site. In accordance with 6.03.02.D, the applicant has provided a deferred parking plan providing a total of 333 parking space for the site. A parking study has been prepared by the applicant to demonstrate that the requested number of parking spaces meets the demand by to accommodate vehicles for employees and customers.

Access to the site is provided by a two (2) driveway cuts along Ocoee-Apopka Road.

The height of the proposed building is 40’ (top of parapet wall). The City approved a variance on October 10, 2006 for the overall building height for this project not to exceed 50’. The proposed height 40’ is well below the maximum that could be built. Staff has found the proposed building elevations to be in accordance with the City’s Development Design Guidelines.

Stormwater run-off and drainage will be accommodated by a master stormwater drainage system. The master stormwater management system is designed according to standards set forth in the Land Development Code.

A twenty-five foot landscape buffer is provided along Ocoee-Apopka Road and State Road 451. The applicant has provided a detailed landscape and irrigation plan for the property. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON SEPTEMBER 13, 2016, AT 5:30 P.M.

Total inches on-site:	3719
Total number of specimen trees:	0
Total inches removed	2308
Total inches retained:	1411
Total inches replaced:	528
Total inches post development:	1939
Site Clearing Acres	8.7

The Development Review Committee recommends approval of the Northwest Distribution Facility Building D – Revised Final Development Plan, subject to the findings of this staff report.

The recommendation to the Planning Commission is to recommend approval of the Northwest Distribution Facility Building D – Preliminary Development Plan, subject to the findings of this staff report.

The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

In response to questions by Mr. Ryan, Mr. Moon stated the applicant has indicated that once they are at full capacity they will have three shifts working with 160 employees. They are providing 187 parking spaces and the code requires 330 parking spaces. If they were to decrease the number of trailer truck parking spaces they would be able to provide the required 330 parking spaces.

Petitioner Presentation: Jeff Banker, P.E., Highland Engineering, Inc., 79 West Illiana Street, Orlando, stated he was available to answer any questions. He addressed Mr. Ryan’s question by explaining that within two years the business will run 24-hours a day with three shifts. The largest shift will involve approximately 90 employees of the 160 employees. The proposed 187 parking spaces will be enough to accommodate all of the employees regardless of what shift they work.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: **Tony Foster made a motion to find that the Northwest Distribution Center Building “D” is consistent with the Comprehensive Plan and Land Development Code; and recommends approval of the Preliminary Development Plan subject to the findings and information in the staff report for the property owned by Oakmont Apopka Road, LLC and located between S.R. 451 and Ocoee Apopka Road, east of Boy Scout Road. The motion was seconded by Robert Ryan. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, and Linda Laurendeau (5-0). (Vote taken by poll.)**

OLD BUSINESS: None.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON SEPTEMBER 13, 2016, AT 5:30 P.M.

NEW BUSINESS: The Planning Commission asked staff to look into rescheduling the November meeting so that it does not coincide with Election Day. Staff is to present their findings at the October meeting.

ADJOURNMENT: The meeting was adjourned at 6:29 p.m.

James Greene, Chairperson

Mark Reggentin, AICP
Community Development Director

Backup material for agenda item:

1. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Owned by Apopka Holdings, LLC, from “County” Low Density Residential (0-4 du/ac) to “City” Office (Max. FAR 0.30), for property located at 1120 Clarcona Road and 1124 South Park Avenue. (Parcel ID #: 09-21-28-0197-10-211 & 09-21-28-0197-10-213)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	October 11, 2016
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Land Use Report
<input type="checkbox"/> OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map
		Existing Uses

SUBJECT: **COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT - APOPKA HOLDINGS LLC**

PARCEL ID NUMBER: **09-21-28-0197-10-211 & 09-21-28-0197-10-213**

Request: **COMPREHENSIVE PLAN - SMALL SCALE - FUTURE LAND USE AMENDMENT**
FROM: **“COUNTY” LOW DENSITY RESIDENTIAL (0-4 DU/AC)**
TO: **“CITY” OFFICE (MAX. FAR 0.30)**

SUMMARY

OWNER/APPLICANT: Apopka Holdings LLC

LOCATION: 1120 Clarcona Road & 1124 S Park Avenue

EXISTING USE: Vacant Boarding House and Single-Family Residence

CURRENT ZONING: “County” R-3 (ZIP)

PROPOSED DEVELOPMENT: Mental health and rehabilitation clinic, including inpatient residential treatment

PROPOSED ZONING: “City” PUD-PO/I-Residential (Professional Office/Institutional Residential) (Note: this Future Land Use Map amendment request is being processed along with a request to change the Zoning Map designation from “County” A-1 (ZIP) to “City” PUD/PO/I-Residential.)

TRACT SIZE: 0.52 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT: **EXISTING:** 29 bed boarding house and a single family house
PROPOSED: 1,933 sq. ft. medical office facility and 6,896 sq. ft. inpatient rehabilitation and residential facility for up to 40 patients.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

ADDITIONAL COMMENTS: Presently, the subject property has not yet been assigned a “City” Future Land Use Designation or a “City” zoning category. Applicant is requesting the City to assign a future land use designation of Office (max FAR of 0.3) to the property.

The subject properties were annexed into the City of Apopka on February 17, 2016, through the adoption of Ordinance No. 2387. The proposed Small-Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a Future Land Use Designation of Office is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 0.52 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report). Based on the findings of the Zoning report, the proposed FLUM amendment is compatible with the surrounding and nearby land uses and the character of the general area.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Office (max FAR 0.3) Future Land Use designation and the City’s proposed PUD/PO/I/Residential Zoning so long as existing building floor area is not expanded above on the existing land area comprising the subject site.

SCHOOL CAPACITY REPORT: Because this Change of Zoning represents a change to a non-residential underlying zoning classification and any residential is ancillary to medical treatment, notification of Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 8, 2016.

PUBLIC HEARING SCHEDULE:

October 11, 2016 - Planning Commission (5:30 pm)
November 2, 2016 - City Council (1:30 pm) - 1st Reading
November 16, 2016 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

September 30, 2016 – Public Notice and Notification
November 4, 2016 – ¼ Page w/Map Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in Future Land Use from “County” Low Density Residential (0-4 du/ac) to “City” Office (max FAR 0.3) for the property owned by Apopka Holdings LLC and located at 1120 Clarcona Road & 1124 S Park Avenue.

Recommended Motion: Find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend to amend the Future Land Use Map designation from “County” Low Density Residential to “City” Planning Unit Development (allowing limited Professional Office\Intuitionals uses and Residential)

Note: This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	R-3	Church
East (County)	Low Density Residential (0-4 du/ac)	R-3	Single-family residential & vacant residential
South (County)	Low Density Residential (0-4 du/ac)	R-3	Single family residence
West (County)	Low Density Residential (0-4 du/ac)	R-3	Church and single family residential

II. LAND USE ANALYSIS

The applicant intends to redevelop the property for use as a mental health and substance abuse treatment facility, including inpatient residential care. The proposed future land use of Office and use for the property is compatible with the general character of the surrounding neighborhood. Predominant land uses in the abutting and surrounding area are single family residential and religious facilities. Commercial and industrial uses occur in the general vicinity to the north and south along Park Avenue\Clarcona Avenue.

North: Abutting the subject property to the north and along Park Avenue are: a private park owned by the St. Paul AME Church, the St. Paul Church, and then parcels zoned C-1 commercial and I-1 industrial. Industrial-zoned property is located 250 feet to the north along Park Avenue, on the east side of Park Avenue. This industrial-zoned property is currently vacant along Park Avenue. Parcels abutting to the north are used for a church – the St. Paul African Methodist Episcopal Church. The commercial-zoned properties are occupied by vacant single family homes, Bethel Baptist Church, or occupied single family residential.

West: Lighthouse Tabernacle church abuts part of the western (rear) property line, and single family residential abuts the northern half of the subject site’s western property lines. Northwest of the site is New Hope Baptist Church.

South: Single family homes abut the subject property directly to the south. While the areas to the south are predominantly single family residential, commercial-zoned nodes do occur approximately 600 feet away.

East: Apopka Holdings LLC, the applicant, recently purchased the two parcel directly to the northeast, on the other side of Clarcona Avenue\Park Avenue. Single family homes are located on the parcels to the southeast.

The proposed future land use designation of “City” Office serves as a transitional land use between the residential uses to the east, south and west, and to the institutional, commercial and industrial zoning and uses to the north and northeast of the subject properties.

Other Information:

Wekiva River Protection Area: No
 Area of Critical State Concern: No
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within “Core Area” of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The property fronts Clarcona Rd/Park Avenue. The vegetative communities present are urban; the soils present are Candler fine sand; and no wetlands occur on the site, and the terrain has a 0-5 percent slope.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.j Office Future Land Use designation.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Office (max FAR 0.3). Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population.

CALCULATIONS:

ADOPTED (County designation): 2 Unit(s) x 2.659 p/h = 5 persons
PROPOSED (City designation): N/A

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the Orange County Utilities service area for potable water, reclaimed water and sanitary service. The property owner will need to provide a letter from Orange County Utilities demonstrating available capacity prior to submittal of any development plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita;
81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 392 GPD
3. Projected total demand under proposed designation: 1921 GPD

4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka ; 177 GPD/Capita; 177 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 908 GPD
3. Projected total demand under proposed designation: 2561 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 20 lbs./person/day
4. Projected LOS under proposed designation: 25 lbs./day/1000 sf
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 21.981 GPD

Total design capacity of the water treatment plant(s): 33.696 GPD

Availability of distribution lines to serve the p 26 y: Yes

Availability of reuse distribution lines available to serve the property: No

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year - 25 hour design storm
3. Projected LOS under proposed designation: 100 year - 25 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

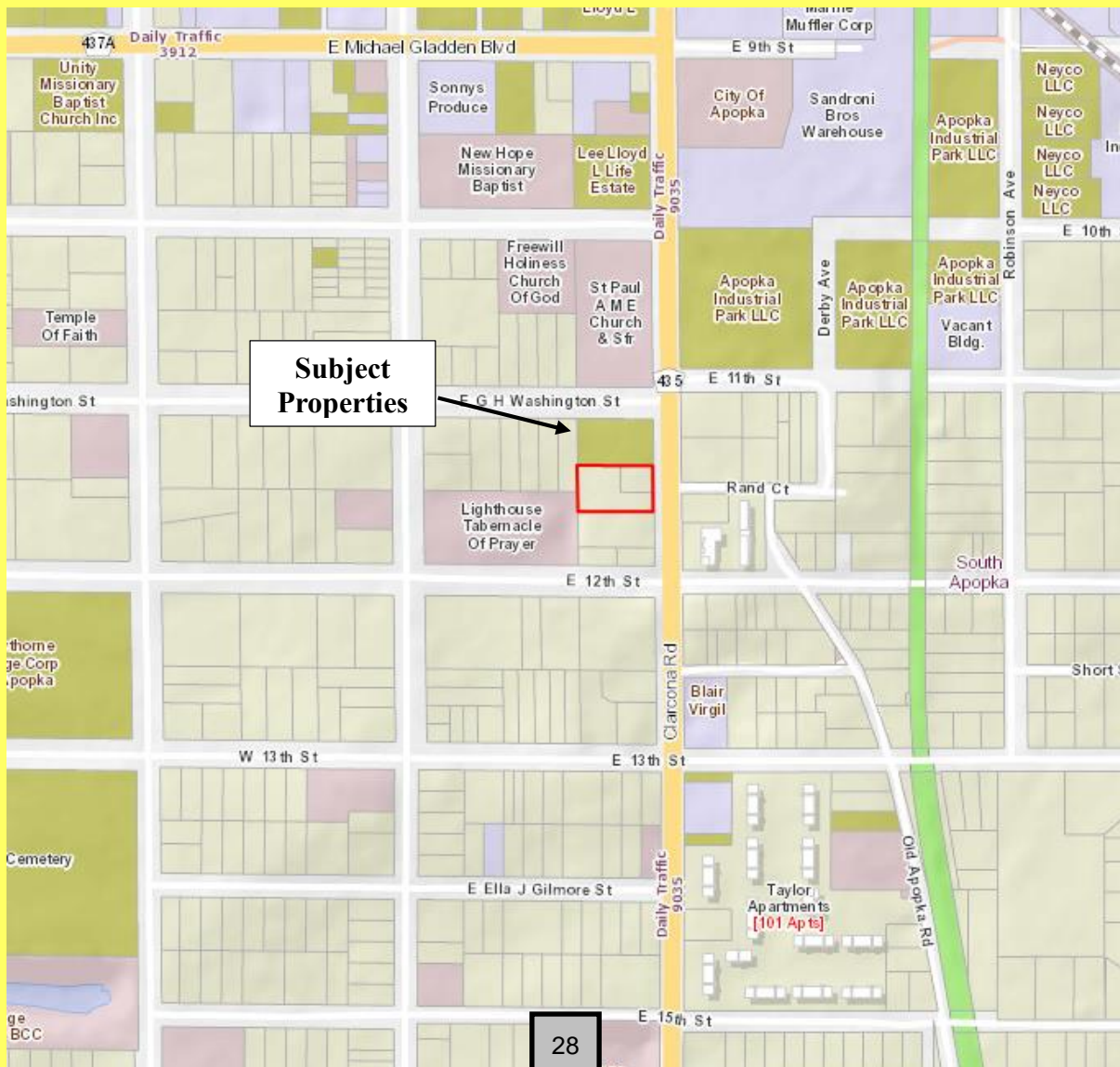
1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.015 AC
3. Projected facility under proposed designation: N/A AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

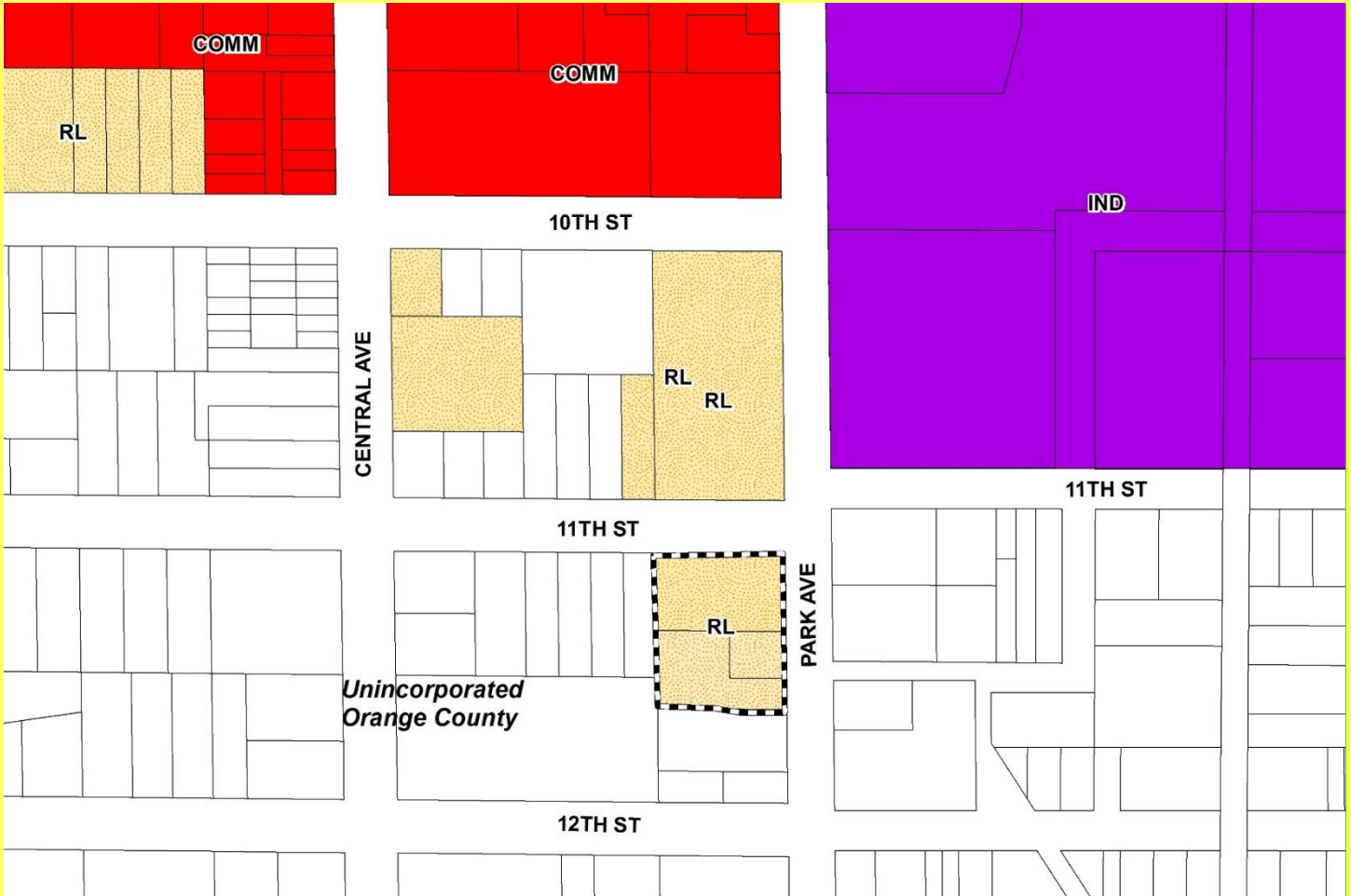
Apopka Holdings LLC
1120 & 1124 Clarcona Road
0.52 +/- Acres
Existing Maximum Allowable Development: 2 dwelling units
Proposed Maximum Allowable Development: 8,829 sq. ft.
Proposed Small Scale Future Land Use Change
From: "County" Low Density Residential (0-4 du/ac)
To: "City" Office (max FAR 0.3)
Proposed Zoning Change
From: "County" R-3 (ZIP)
To: "City" PUD/PO//Residential
Parcel ID #: 09-21-28-0197-10-211 & 09-21-28-0197-10-213



VICINITY MAP

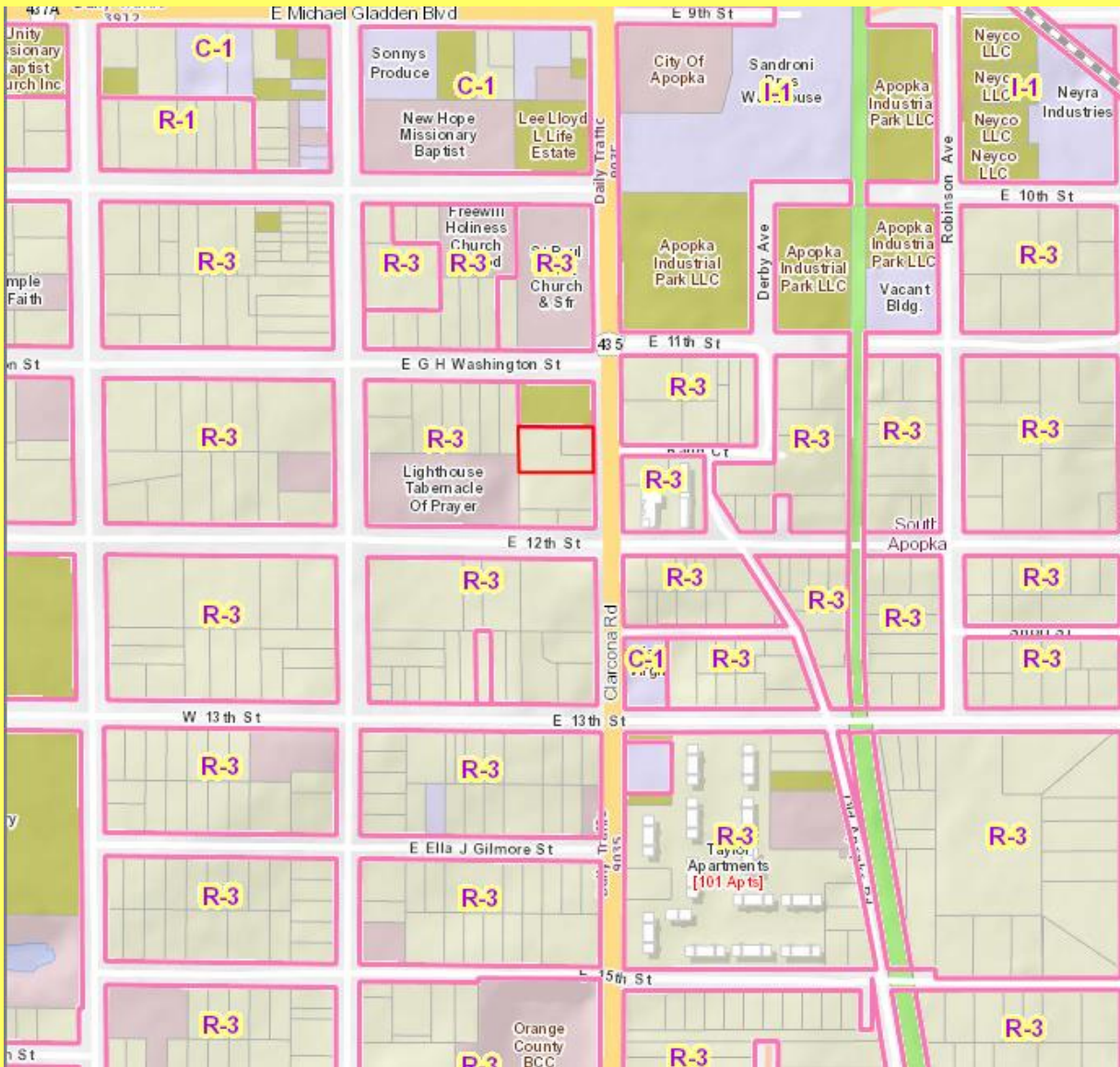


FUTURE LAND USE MAP



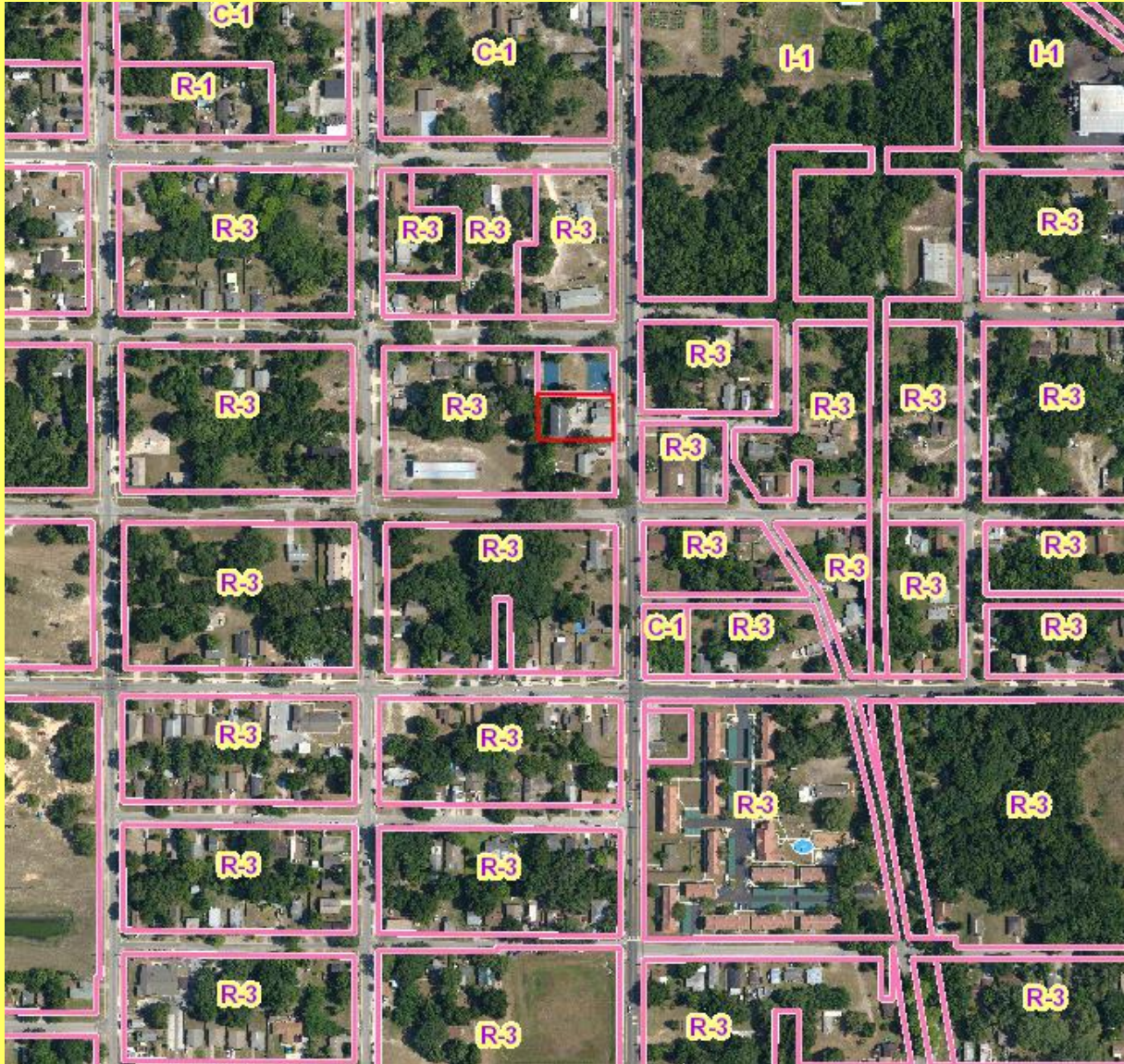


ADJACENT ZONING





ADJACENT USES





EXISTING USES



Backup material for agenda item:

2. CHANGE OF ZONING – Owned by Apopka Holdings, LLC, from “County” R-3 (Residential) to “City” Planned Unit Development (PUD; PO/I; Residential), for property located at 1120 Clarcona Road and 1124 South Park Avenue. (Parcel ID #s: 09-21-28-0197-10-211 & 09-21-28-0197-10-213)



**CITY OF APOPKA
PLANNING COMMISSION**

<u>X</u> PUBLIC HEARING	DATE:	October 11, 2016
ANNEXATION	FROM:	Community Development
PLAT APPROVAL	EXHIBITS:	Land Use Report
OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map
		Existing Use Map

SUBJECT: CHANGE OF ZONING – APOPKA HOLDINGS, LLC

PARCEL ID NUMBER: 09-21-28-0197-10-211 & 09-21-28-0197-10-213

Request: CHANGE OF ZONING
FROM: “COUNTY” R-3 (RESIDENTIAL)
TO: PLANNED UNIT DEVELOPMENT (PUD - PO/I - RESIDENTIAL) (MAX. 0.30 FAR) WITH A MASTER PLAN\FINAL DEVELOPMENT PLAN

SUMMARY

OWNER/APPLICANT: Apopka Holdings, LLC

LOCATION: 1120 Clarcona Rd & 1124 S Park Ave

EXISTING USE: Vacant rooming house (29 beds) and vacant single-family residential (per Orange County Property Appraiser’s records.

FLUM DESIGNATION: “County” Low Density Residential (0 – 4 du/ac)

CURRENT ZONING: “County” R-3 (ZIP)

PROPOSED DEVELOPMENT: Mental health and substance abuse rehabilitation clinic, includes inpatient residential treatment

PROPOSED ZONING: Planned Unit Development (PUD - PO/I - Residential) (Note: this Change of Zoning request is being processed along with the request to change the Future Land Use Map designation to “City” Office)

TRACT SIZE: 0.52 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT:
EXISTING: 29 bed boarding house and a single family house
PROPOSED: 1,933 sq. ft. medical office facility and 6,896 sq. ft. inpatient rehabilitation facility for up to 40 residential patients. (The current floor area ratio of existing the buildings is 0.389, while the maximum floor area ratio for the zoning district is 0.30 or 6,795 sq. ft.)

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Public Works Chief	

ADDITIONAL COMMENTS: The subject properties are currently in the process of being annexed into the City of Apopka. If approved by City Council, the annexations will occur on February 17, 2016, through the adoption of Ordinance No. 2387. The proposed change of zoning is being requested by the owner.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

The applicant proposes to redevelop the property for use as a mental health and substance abuse rehabilitation center with inpatient care. An existing 1,933 sq. ft. single-family house will be converted to office and rehabilitation services, and the existing rooming house (29 bed capacity; 6,896 sq. ft.) will be converted to a residential facility for up to 40 resident patients. In addition, a community bathroom facilities, kitchen, and dining facilities will be provided inside an enclosed building. With a maximum floor area ratio standard of 0.30, a maximum of 6,795 sq. ft. of building floor area is allowed on the .52 acre site. The combined floor area of the two existing buildings is 8,829 sq. ft. or 2,033 square feet above the maximum allowed for acreage on this property. The current floor area ratio of existing buildings is 0.389, while the maximum floor area ratio for the zoning district is 0.30. Existing buildings cannot be expanded or additional buildings constructed until additional land is added to the subject site to meet the 0.30 FAR.

Small parcel size and use of existing buildings prevents sufficient space to accommodate the necessary parking spaces to meet anticipated demand. Temporary off-site parking is proposed at the New Hope Baptist Church on

PUD RECOMMENDATIONS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be: all such uses permitted within the PO/I (Professional Office/Institutional PO\I (zoning category) except for following PO\I uses shall be prohibited:
1. Hospitals, museums, libraries or cultural institutions;
 2. Retail establishments, including those for the sale of pharmaceutical, medical and dental supplies or other hospital-related items;
 3. Boarding or rooming house(s);
 4. All other uses listed as prohibited within the Professional Office/Institutional zoning district;
 5. All uses permitted through a special exception within the Professional Office/Institutional zoning district.
- B. Over-night inpatient rooming facilities shall be permitted as an ancillary use if the site is used for medical care; all other residential uses shall be prohibited. Permitted residential shall be limited as follows:
1. Full-time residential shall be permitted for an on-site caretaker or property manager.
 2. Residents at the site shall only be patients served by the on-site medical services.
 3. Residents typically will not have automobiles parked at the residential facilities (Parcels 09-21-28-0197-10-211 & 09-21-28-0197-10-213). As insufficient land area occurs at the business site. Satellite parking will be provided at the New Hope Missionary Baptist Church subject to a parking agreement acceptable to the city attorney. A certificate of occupancy shall not be issued to the applicant until off-site parking is confirmed through a permanent parking agreement, recorded with the land, and acceptable to the city attorney. Any other off-site parking location shall require approval by City Council.
 4. No outdoor group activities shall occur from 10 p.m. to 7 a.m. due to the proximity of residential homes abutting and near the site.
- C. If the mental health facility ceases to operate at the subject property for more than 180 consecutive days, such use shall not continue and the PUD ordinance shall expire. In such case, the City at its discretion may assign another zoning category to the subject property.

- D. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:
1. Permit a single six-month extension for submittal of the required Final Development Plan;
 2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
 3. Rezone the property to a more appropriate zoning classification.
- E. Unless otherwise approved by City Council through an alternative development guideline that is adequate to protect the public health, safety and welfare, the following zoning and development standards shall apply to the development of the Property and for the master site plan:
1. A rooming house\boarding house is not allowed at the subject site after a zoning category of PUD zoning is assigned to it by the City.
 2. Any new structures shall meet the architectural design standards set forth in the Apopka Development Design Guidelines dated May 2000, or as amended by the Apopka City Council. Any building, whether residential or non-residential, shall be designed with a residential architecture style and shall have a pitched roof. Any new building shall require the site to comply with the maximum floor area ratio of 0.30.
 3. The existing two buildings may be used for medical treatment and residential facilities but the gross building floor area shall not be expanded. Buildings may be used for medical office (drug, alcohol and mental health medical treatment and associated residential care uses only). No new buildings or expansion of existing buildings shall occur unless the total floor area of all buildings complies with the floor area ratio for the Professional Office\Institutional (.i.e., .030 FAR).
 4. The site shall provide a six-foot brick/masonry wall along the western and southern portions of the subject properties adjacent to residential uses.
 5. The subject properties shall meet all other buffer yard and landscaping requirements, as defined in the Apopka Land Development Code, to the greatest extent practical,
 6. All services occurring at the site, including dining and cooking facilities, shall occur inside an enclosed building.
 7. At the Final Development Plan, if the subject site cannot accommodate the required number of parking spaces, applicant must either obtain long-term contracts with abutting churches to use their parking spaces to meet the parking requirement, or the Final Development Plan shall not be approved. Medical patients residing at the residential facility shall not be allowed to park at the site unless a Final Development Plan demonstrates sufficient parking is available.
 8. No more than 40 patients or the maximum number of occupants allowed by building code, whichever is lower, shall reside at the residential facilities. Only patients and employees of the medical provider may reside at approved residential facilities.
 9. Connection to City central water and sewer service is required prior to issuance of a certificate of occupancy.
 10. Unless otherwise provided herein, the design of the site through a Master Plan\Final Development Plan shall occur consistent with development standards for the POI zoning district. Modifications to the Final Development Plan may be approved by the Development Review Committee if determined to be an insubstantial change by the Community Development Director.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Office Future Land Use designation and the City’s proposed Planned Unit Development (PUD/PO/I) Zoning classifications. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: Because this Change of Zoning represents a change to a non-residential underlying zoning classification and any residential is ancillary to medical treatment, notification of Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 8, 2016.

PUBLIC HEARING SCHEDULE:

October 11, 2016 - Planning Commission (5:30 pm)
November 2, 2016 - City Council (1:30 pm) - 1st Reading
November 16, 2016 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

September 30, 2016 – Public Notice and Notification
November 4, 2016 – ¼ Page w/Map Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and recommends approval of the change in zoning from R-3 (ZIP) to Planned Unit Development (PUD/PO/I/Residential) subject to the PUD zoning and developments standards for the property owned by Apopka Holdings, LLC,.

Recommended Motion: Finds the proposed amendment consistent with the Comprehensive Plan and recommend approval of the change in zoning from R-3 (ZIP) to Planned Unit Development (PUD/PO/I/Residential) and the Master Plan\Final Development Plan subject to the PUD zoning and developments standards for the property owned by Apopka Holdings, LLC.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	R-3	Church\recreation facilities
East (County)	Low Density Residential (0-4 du/ac)	R-3	Single-family residential & vacant residential
South (County)	Low Density Residential (0-4 du/ac)	R-3	Single family residence
West (County)	Low Density Residential (0-4 du/ac)	R-3	Church and single family homes

LAND USE COMPATIBILITY:

The proposed zoning and use is compatible with adjacent zoning districts and the general character of the surrounding area. Predominant land uses in the abutting and surrounding area are single family residential and religious facilities. Parcels abutting to the north are used for a church – the St. Paul African Methodist Episcopal Church, and Lighthouse Tabernacle church abuts part of the western (rear) property line, which are both institutional uses. In addition, the area contains other non-residential land uses, including industrial to the northeast and commercial to the south of the subject sites. Furthermore, the applicant – Apopka Holdings LLC – has recently purchased properties east of the sites, across Park Avenue, to incorporate into the proposed use at a later date.

The underlying PO/I and Residential zoning serves as a transitional zoning between the residential uses to the east, south and west, and to the institutional, commercial and industrial zoning and uses to the north and northeast of the subject properties.

The Land Use Compatibility supporting information from the Future Land Use amendment is incorporated into the findings of the Zoning Report.

TRAFFIC COMPATIBILITY: The property has access to a Minor Arterial roadway (Clarcona Road). A medical office/clinic is a permissible use within the PO/I zoning category. Future land use designations and zoning categories assigned to properties to the north, south, east, and west is predominantly residential, industrial and commercial.

COMPREHENSIVE PLAN COMPLIANCE: The proposed PUD/PO/I/Residential zoning is compatible with policies set forth in the Comprehensive Plan.

PO/I DISTRICT REQUIREMENTS:

FAR:	0.30 (max.)
Open Space:	30 percent
Minimum Site Area:	10,000 sq. ft.
Minimum Lot Width:	85 ft.
Setbacks: Front:	25 ft.
Side:	10 ft.
Corner:	25 ft.
Rear:	10 ft.
Adjacent to Residential:	25 ft.

**BUFFERYARD
REQUIREMENTS:**

Areas adjacent to all road rights-of-way shall provide a minimum ten (10) foot landscaped bufferyard. Areas adjacent residential use shall provide a minimum six (6) foot masonry wall within a ten (10) foot landscaped bufferyard.

**ALLOWABLE
USES:**

Professional offices, medical or dental clinics and offices, establishments for the retail sale of pharmaceutical, medical and dental supplies, hospitals, museums, libraries, churches and educational facilities.

Apopka Holdings LLC
1120 Clarcona Road & 1124 S Park Avenue
0.52 +/- Acres

Existing Maximum Allowable Development: 2 dwelling units
Proposed Maximum Allowable Development: 8,829 sq. ft.
Proposed Small Scale Future Land Use Change
From: “County” Low Density Residential (0-4 du/ac)
To: “City” Office (max FAR 0.3)
Proposed Zoning Change
From: “County” R-3 (ZIP)
To: “City” PUD/PO/I
Parcel ID #: 09-21-28-0197-10-211 & 09-21-28-0197-10-213

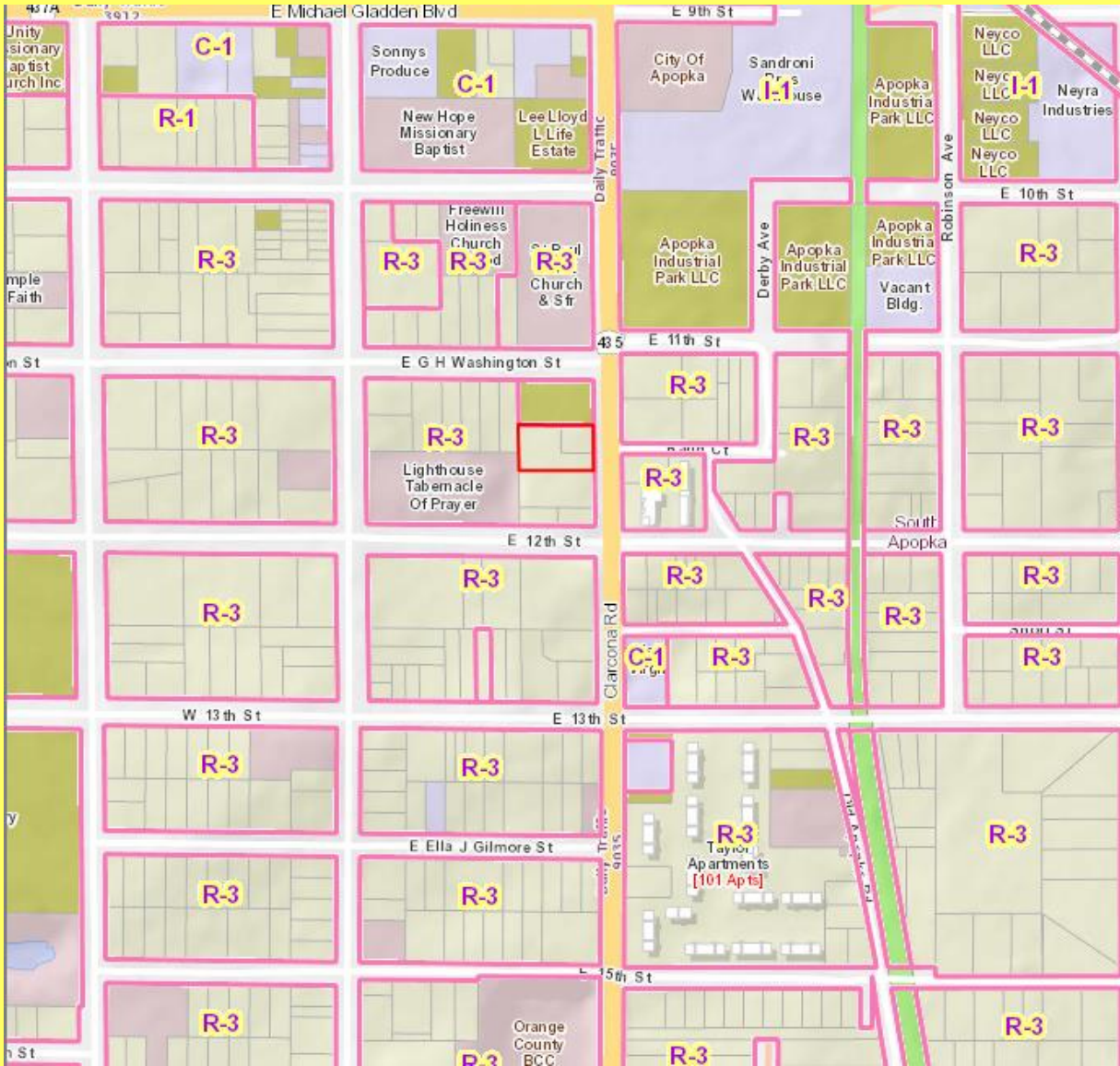


VICINITY MAP



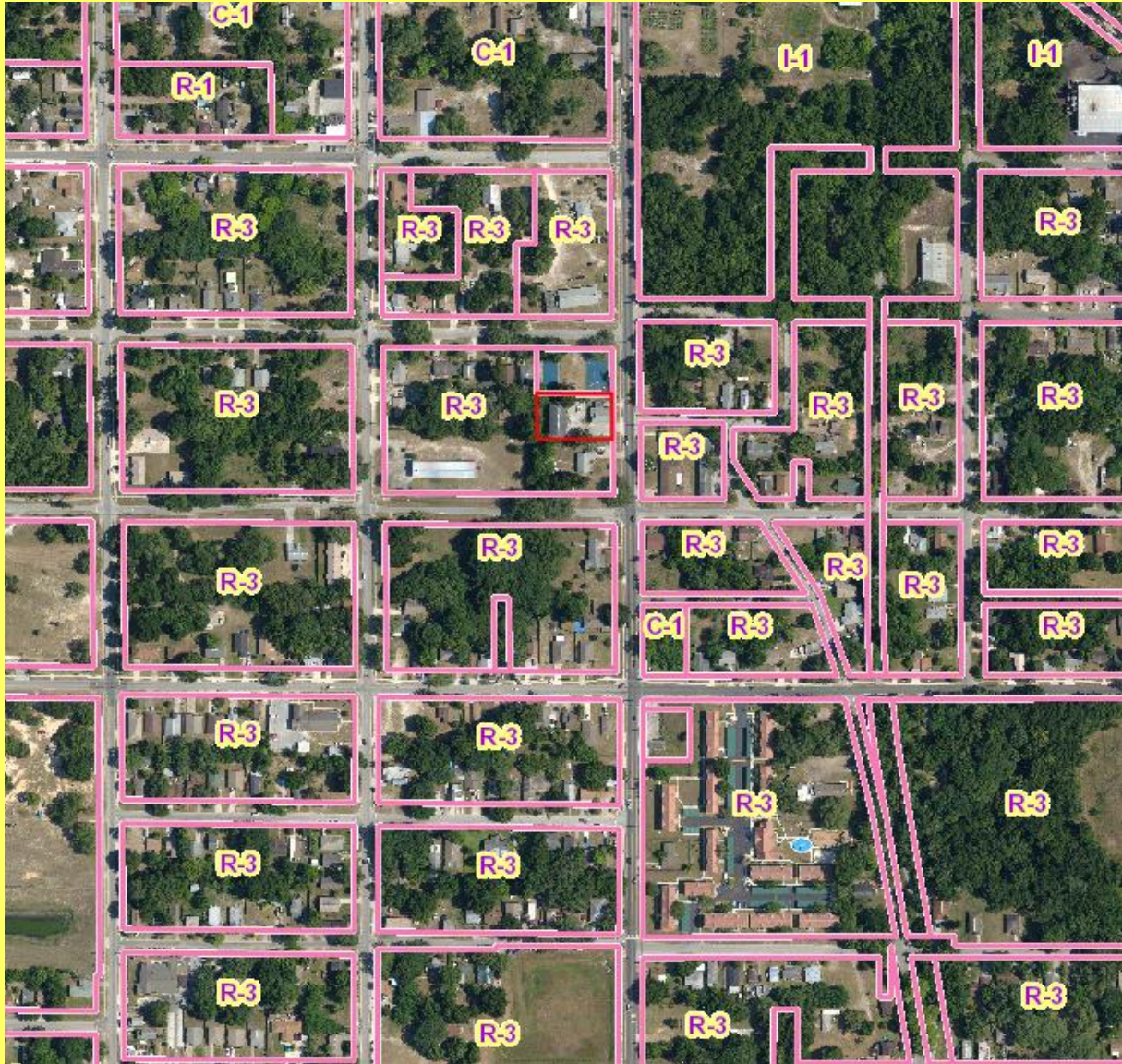


ADJACENT ZONING





ADJACENT USES



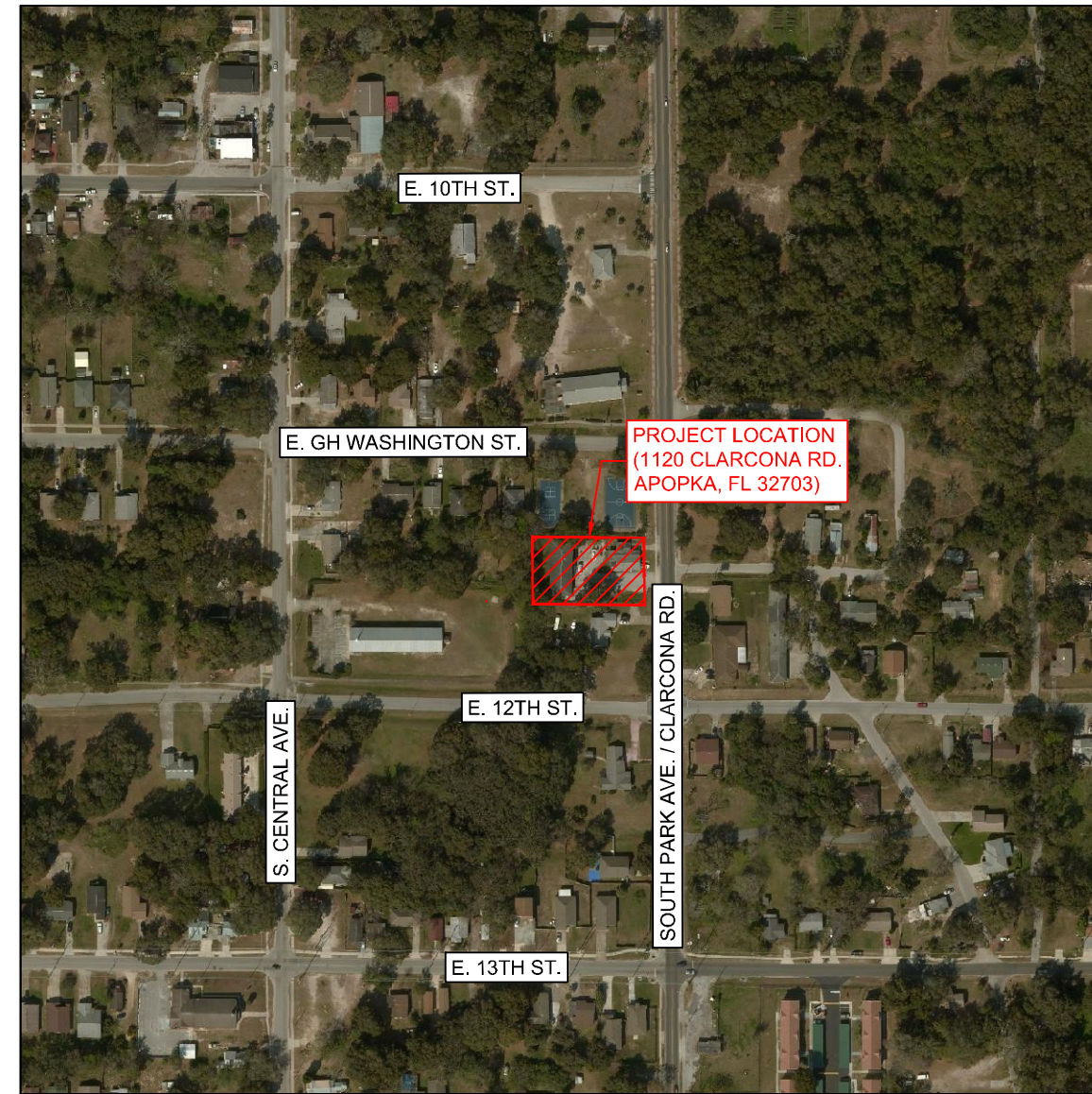


EXISTING USES

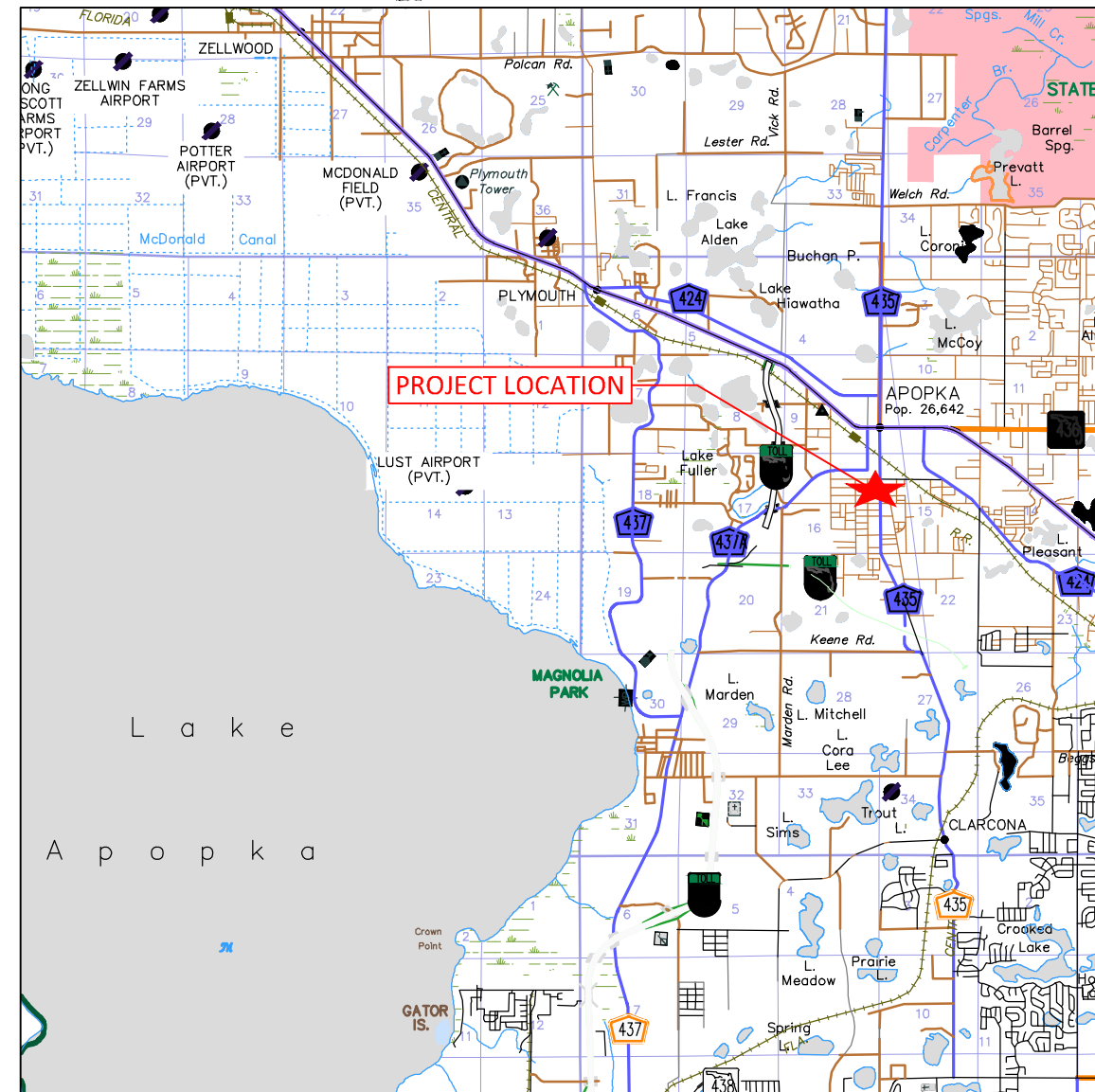


FINAL SITE DEVELOPMENT PLANS FOR CENTRAL FLORIDA RECOVERY APOPKA, FL (ORANGE COUNTY) PARCEL NO. 09-21-28-0197-10-211 PARCEL NO. 09-21-28-0197-10-213

AERIAL MAP NTS



VICINITY MAP NTS



SOILS MAP NTS



MAP UNIT SYMBOL	SOIL TYPE	PERCENT OF PROPERTY
7	CANDLER-URBAN LAND COMPLEX 0 - 5% SLOPES	100% (0.52 AC.)

LEGAL DESCRIPTION

PART OF LOT 21, BLOCK J, TOWN OF APOPKA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE 109, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, DESCRIBED AS BEGINNING AT THE SOUTHEAST CORNER OF LOT 21, RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 21 85.73 FEET, NORTH 70 FEET, EAST 85.73 FEET, SOUTH 70 FEET TO THE POINT OF BEGINNING.

&

LOT 21 (LESS THE NORTH 116 FEET & LESS BEGINNING AT THE SOUTHEAST CORNER OF LOT 21, RUN WEST 85.73 FEET, NORTH 70 FEET, EAST 85.73 FEET, SOUTH 70 FEET TO THE POINT OF BEGINNING) & THE NORTH 1/4 OF LOT 27, ALL IN BLOCK J, TOWN OF APOPKA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE 109, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

SITE DATA

1. TAX PARCEL ID NUMBER:	09-21-28-0197-10-211 09-21-28-0197-10-213
2. LOT SIZE:	0.52 ACRES
3. EXISTING USE:	LOW DENSITY RESIDENTIAL
4. EXISTING ZONING:	R-3
5. EXISTING BUILDING:	6,896 SF 1,933 SF
5.1. RESIDENCE #1124	6,896 SF
5.2. RESIDENCE #1120	1,933 SF
6. PROPOSED USE:	OFFICE
7. PROPOSED ZONING:	PUD / PO // RESIDENTIAL
8. PROPOSED BUILDINGS:	EXISTING BLDGS TO REMAIN
9. BUILDING HEIGHT	TWO STORY
10. FAR:	MAX 0.30 PROVIDED 0.39 *
11. BUILDING SETBACK	
11.1. FRONT YARD (S. PARK AVE.)	25 FT 8 FT *
11.2. SIDE YARD (NORTH LOT LINE)	10 FT 10 FT
11.3. SIDE YARD (SOUTH LOT LINE)	10 FT 10 FT
11.4. REAR YARD (WEST LOT LINE)	10 FT 34 FT
12. LANDSCAPE BUFFERS:	
12.1. FRONT YARD (S. PARK AVE.)	10 FT 3 FT *
12.2. SIDE YARD (NORTH LOT LINE)	10 FT 2 FT *
12.3. SIDE YARD (SOUTH LOT LINE)	10 FT 2 FT *
12.4. REAR YARD (WEST LOT LINE)	10 FT 29 FT
13. OFF-STREET PARKING:	
13.4. REQUIRED PARKING (8829 SF / 250 SF):	35 SPACES
13.5. NEW STANDARD PARKING SPACES PROVIDED:	16 SPACES
13.6. NEW ADA PARKING SPACES PROVIDED:	1 SPACES
TOTAL PROVIDED:	17 SPACES *
14. IMPERVIOUS AREA (MAX ALLOWED = 80%):	
14.1. EXISTING IMPERVIOUS AREA:	0.35 AC. (67.31%)
14.2. DEMOLISHED IMPERVIOUS AREA:	0.03 AC.
14.3. NEW IMPERVIOUS AREA:	0.02 AC.
14.4. TOTAL NET IMPERVIOUS AREA:	0.34 AC. (65.38%)
15. IMPERVIOUS/PERVIOUS AREA:	
15.1. IMPERVIOUS AREA:	0.34 AC. (65.38%)
15.2. PERVIOUS AREA:	0.18 AC. (34.62%)

NOTE: THE FOLLOWING PROPOSED FACILITIES SHOWN ON THE DEVELOPMENT PLANS ARE FOR REFERENCE PURPOSES ONLY AND EACH SHALL REQUIRE A SEPARATE BUILDING PERMIT. THE LIST INCLUDES, BUT IS NOT LIMITED TO: PROPOSED BUILDINGS, SANITARY LIFT STATIONS, LIGHT FIXTURES, (POLES) THAT ARE INDEPENDENT FROM ANY BUILDING STRUCTURE, FENCES, GATES, MONUMENT SIGNS, DUMPSTER ENCLOSURES, AND DECORATIVE / RETAINING WALLS THAT EXCEED THREE (3) FEET IN HEIGHT.

* WAIVER REQUIRED (SEE TABLE BELOW)

SHEET INDEX

SHEET	DESCRIPTION
C0.0	COVER SHEET
C1.0	GENERAL NOTES & DETAILS
C1.1	DEMOLITION & EROSION CONTROL PLAN
C2.0	SITE PLAN & DETAILS
C3.0	UTILITY PLAN & DETAILS
C4.0	LIFT STATION PLAN & DETAILS

PLANS BY OTHERS

SHEET	DESCRIPTION
S1	TOPOGRAPHIC AND BOUNDARY SURVEY
FP1	FIRE PROTECTION SITE PLAN

PROJECT TEAM

OWNER/ APPLICANT	CIVIL ENGINEER
APOPKA HOLDINGS, LLC. 9846 CAMBERLY CIR. ORLANDO, FL 32836 (407) 506-6470	HIGHLAND ENGINEERING, INC. 79 W. ILLIANA ST. ORLANDO, FL 32806 (407) 275-7877
SURVEYOR	FIRE PROTECTION ENGINEER
SHANNON SURVEYING, INC. 499 NORTH SR 434, SUITE 2155 ALTAMONTE SPRINGS, FL 32714 (407) 774 - 8372	LIFELINE FIRE PROTECTION. 1128 CALLOWAY CIRCLE CLERMONT, FLORIDA 34711 (351) 243-7774

Code#	Code Requirement	V / W	Request	Justification
6.03.02 A	1 space per 250 square feet of gross floor area = 35 spaces	W	17 spaces	The amount of available/provided parking, has been maximized based on the configuration of the existing buildings. In addition, the residents will not be driving to the facility and the parking spaces will only be used by staff. The applicant has entered into a purchase agreement with the owner of 1109 S. Park Avenue and the owner has allowed the use of the property for parking until the property sale is complete.
2.02.01 A	Front Setback: 25 ft.	W	Front Setback 7.0 ft	The requirement for 25 feet front yard building setback cannot be met, because the existing building is located only 7.6 feet from the property line.
2.02.10.G	Areas adjacent to all road right-of-way shall provide a minimum of 10' landscape buffer.	W	Provide landscaping in open areas along front of property	The location of the existing building and pavement areas limit the amount of landscaping that can be provided along the right of way. The property owner will provide landscaping in accordance with section 5.01.08 in areas along the property frontage that are not restricted by existing building or pavement. See site plan for locations.
2.02.10.G	Areas adjacent to residential use shall provide a minimum 6' masonry wall within a 10' landscape buffer.	W	6' tall opaque vinyl PVC fence is requested to be placed at the property line, thus eliminating the landscape buffer along the side yard and rear yard adjacent to the pvc fence.	A 6 foot tall opaque PVC fence is requested in lieu of the required 6' masonry wall as it would be cost prohibitive to build a 6 foot masonry wall adjacent to residential uses. The landscape buffer is also requested to be waived and the fence placed adjacent to the property.
2.02.01 A	Maximum FAR of 30%	W	Allow FAR based on existing building areas and limit expansion of the buildings	The existing buildings result in a FAR = 0.389 which exceeds the required maximum FAR = 0.30, therefore, the buildings cannot be expanded and additional buildings cannot be constructed until additional land is added to the property area.
Florida Building Code 11-4.1.3 (5)	Vertical accessibility shall be provided to all levels above and below the occupable grade level.	W	Applicant request to apply Exception 1 noted in FBC 11-4.1.3 (5)	Exception 1: Elevators not required in facilities that are less than three stories or that have less than 3,000 square feet per story unless the building is shopping center, a shopping or the professional office of a health care provider, or another type of facility as determined by the U.S. Attorney General. The elevator exemption set forth in this paragraph does not obviate or limit any way the obligation to comply with the other accessibility requirements established in Section 11-4.1.3. For example, floors above or below the accessible ground floor meet the requirements of this section except for elevator service. If toilet or bathing facilities are provided on a level not served by an elevator, then a toilet or bathing facility must be provided on the accessible ground floor.

CENTRAL FLORIDA RECOVERY

COVER SHEET



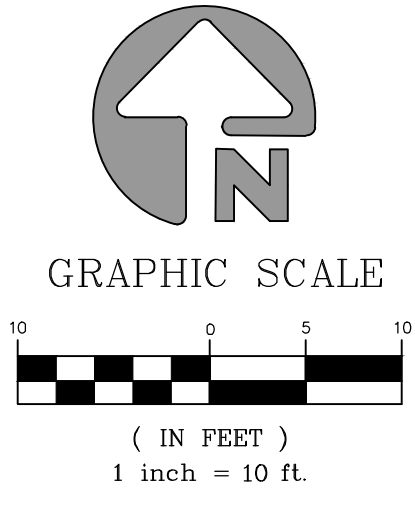
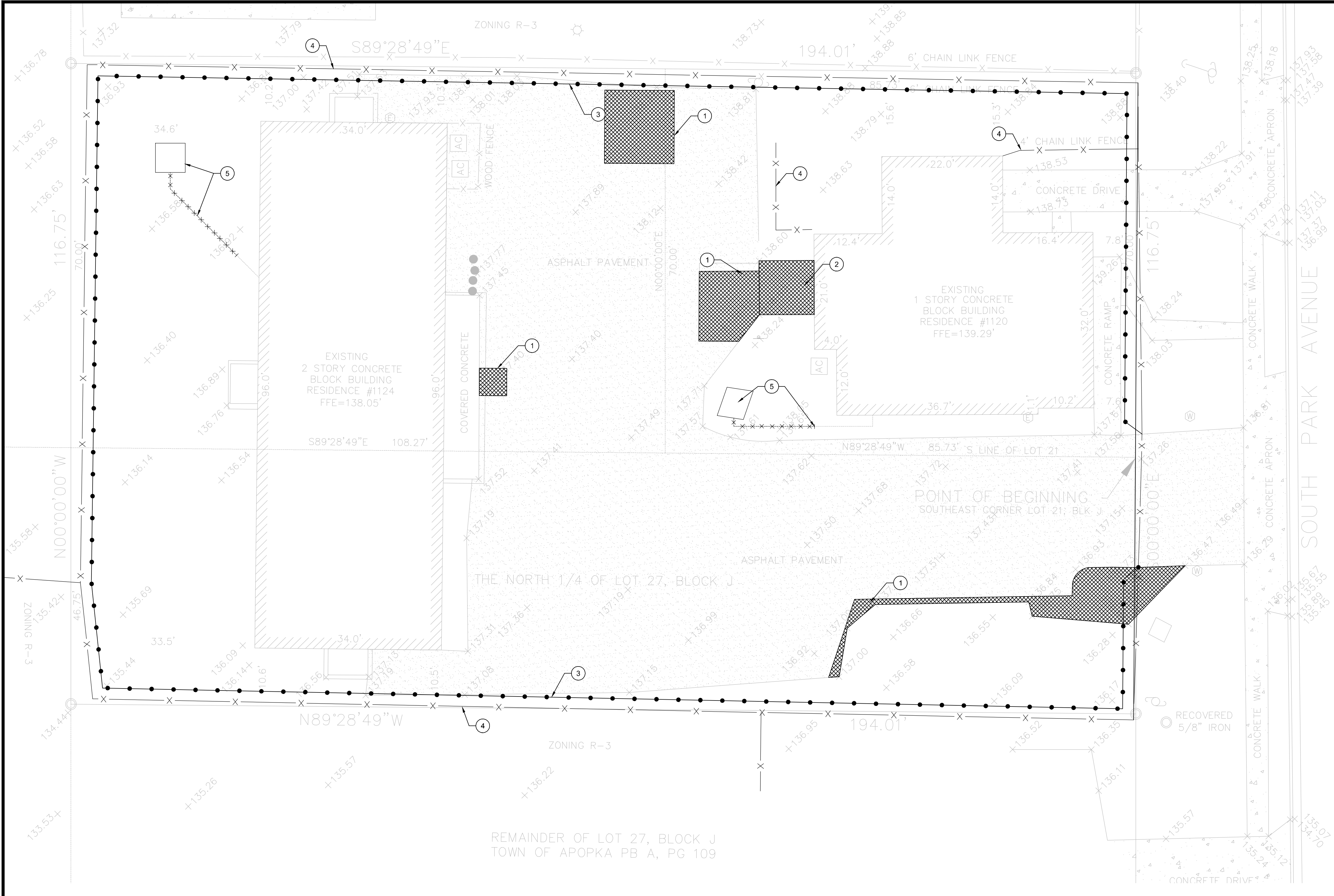
HIGHLAND ENGINEERING, INC.
79 West Illiana Street
Orlando, Florida 32806
Office 407-275-7877
Fax 407-275-7901
CA No. 27612

JOB No.: CFR-001
DESIGNED BY: JB
DRAWN BY: DB
APPROVED BY: JB
DATE: 05.02.16
SHEET: C0.0

NOTE FOR CONSTRUCTION
UNLESS SHOWN AND SEALED

No 64122
JEFFERY W. BANKER, P.E.
REGISTRATION No. 64122
FLORIDA
DATE 05/02/16

Dbrinkman 8/5/2016 J:\CFR-001\Drawings\Construction Plans\C1.0 - DEMO-EROSION CONTROL - CFR-001.dwg



- LEGEND**
- LIMITS OF SURFACE DEMOLITION
 - SILT FENCE

- KEY NOTES**
- 1 REMOVE ASPHALT PAVEMENT
 - 2 REMOVE CONCRETE PAVEMENT
 - 3 SILT FENCE (SEE DETAIL THIS SHEET)
 - 4 REMOVE CHAINLINK FENCE
 - 5 REMOVE EXISTING DOSING TANK AND ASSOCIATED PIPING. CAP EXISTING SEWER PIPING TO ACCOMMODATE MODIFIED SEWER PIPE ROUTING. SEE UTILITY PLAN FOR COORDINATION.

- DEMOLITION NOTES**
1. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES FOUND BETWEEN THESE PLANS AND EXISTING FIELD CONDITIONS.
 2. EXISTING PAVEMENT AREAS TO REMAIN UNDISTURBED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION ACTIVITIES.
 3. CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING LOCATION TO STOCKPILE ANY REUSABLE STRUCTURES, PAVEMENT BASE MATERIAL, FIXTURES, ETC.
 4. CONTRACTOR SHALL COORDINATE WITH ALL THE UTILITY COMPANIES FOR ALL UTILITIES THAT REQUIRE REMOVAL OR RELOCATION.
 5. DEMOLITION MATERIALS, FACILITIES, ETC., AS DEPICTED AND/OR NOTED BY THESE DRAWINGS, SHALL BE REMOVED FROM FROM OWNERS PROPERTY SHALL BE LEGALLY DISPOSED IN CONFORMANCE WITH APPLICABLE REGULATIONS.

EROSION CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO SOIL DISTURBANCE OR AS THE FIRST STEP IN CONSTRUCTION. THESE MEASURES MUST REMAIN IN PLACE AND MAINTAINED IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETE, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
2. EROSION CONTROL IS PERFORMANCE BASED, SO MEASURES ADDITIONAL TO WHAT IS INDICATED ON THE APPROVED PLANS MAY BE NEEDED TO PREVENT OFF-SITE IMPACTS.
3. PERIMETER CONTROL. PROPERLY TRENCHED SILT FENCE OR OTHER APPROVED PERIMETER CONTROLS SHALL BE PLACED ALONG ALL PERIMETERS OF THE PROJECT SITE, WHICH IS DOWN GRADIENT OF ANY DISTURBED SOIL.
4. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL MUD, DIRT, OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES, DUE TO CONSTRUCTION.
5. DEWATERING ACTIVITIES WILL NOT RESULT IN ANY DISCHARGE OF TURBID WATER FROM THE PROJECT SITE.
6. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED
7. STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
8. THE LOCATION AND TYPE OF THE EROSION CONTROL MEASURES SHOWN ON THIS DRAWING ARE PROVIDED FOR GENERAL GUIDANCE TO THE CONTRACTOR. THE METHODS AND SEQUENCING OF CONSTRUCTION EMPLOYED BY THE CONTRACTOR MAY REQUIRE MORE OR LESS EROSION CONTROL MEASURES THAN THAT DEPICTED TO MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL FOR THE CONSTRUCTION ACTIVITIES.
9. EROSION/TURBIDITY BARRIERS MUST BE INSTALLED AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SEDIMENT OR SUSPENDED SOLIDS TO ADJACENT PROPERTIES, JURISDICTIONAL WETLANDS AND/OR RECEIVING WATERBODIES EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST REMAIN IN PLACE AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED. THEREAFTER THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF THE BARRIERS. THE CONTRACTOR SHALL MAINTAIN THE EROSION/TURBIDITY CONTROL BARRIERS DAILY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING

THE NECESSARY EROSION/TURBIDITY CONTROL FOR THIS PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY PENALTIES IMPOSED BY THE PERMITTING AGENCY FOR ANY EROSION, SHOALING, OR WATER QUALITY PROBLEMS RESULTANT TO CONSTRUCTION ACTIVITIES.

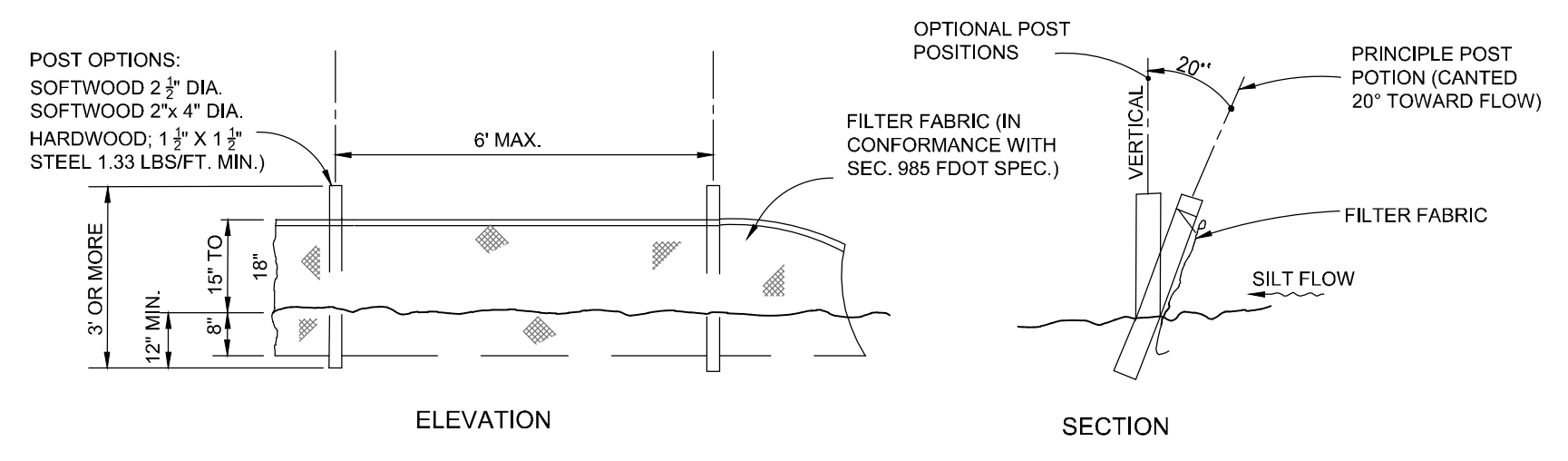
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY EROSION, SHOALING OR WATER QUALITY PROBLEMS THAT RESULT FROM THE CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL USE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL AS DESCRIBED IN THE FLORIDA LAND DEVELOPMENT MANUAL; A GUIDE TO SOUND LAND AND WATER MANAGEMENT AND/OR ACCORDING TO F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS FOR EROSION CONTROL APPLICATIONS.

11. MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO INSURE THAT SEDIMENTATION AND/OR TURBIDITY PROBLEMS ARE NOT CREATED IN THE RECEIVING WATERBODIES. THE CONTRACTOR MUST IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF THE WATER QUALITY CRITERIA AND STANDARDS IN CHAPTERS 17-4, 17-302, F.A.C. ALL EROSION/SEDIMENT CONTROL PRACTICES MUST BE IN ACCORDANCE WITH THE GUIDELINES AND SPECIFICATIONS IN SECTION 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL; A GUIDE TO SOUND LAND AND WATER MANAGEMENT (FLORIDA DEPARTMENT OF

ENVIRONMENTAL REGULATION 1988), UNLESS A PROJECT-SPECIFIC EROSION AND SEDIMENT CONTROL PLAN IS APPROVED BY THE WATER MANAGEMENT DISTRICT IN WHICH CASE THE PRACTICES MUST BE IN ACCORDANCE WITH THE PLAN. IF SITE SPECIFIC CONDITIONS REQUIRE ADDITIONAL MEASURES DURING ANY PHASE OF CONSTRUCTION OR OPERATION TO PREVENT EROSION OR CONTROL SEDIMENT, THE CONTRACTOR MUST IMPLEMENT THE NECESSARY ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES.

12. TEMPORARY SEEDING AREAS OPENED BY CONSTRUCTION OPERATIONS THAT ARE NOT ANTICIPATED TO BE DRESSED OR RECEIVE FINAL GRASSING TREATMENT WITHIN THIRTY DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER, DURING THE SEASON IN WHICH IT IS PLANTED. TEMPORARY SEEDING SHALL BE CONTROLLED SO AS TO NOT ALTER OR COMPETE WITH PERMANENT GRASSING. THE RATE OF SEEDING SHALL BE 30 POUNDS PER ACRE.

13. TEMPORARY GRASSING THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED AS REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY REGRASSING IF, AFTER 14 DAYS, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75% GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED TO ESTABLISH THE DESIRED VEGETATION COVER.



SILT FENCE DETAIL

REV.	DATE	DESCRIPTION	APP'D BY
1	6-30-2016	REVISED PER CITY OF APOPKA COMMENTS	JNB

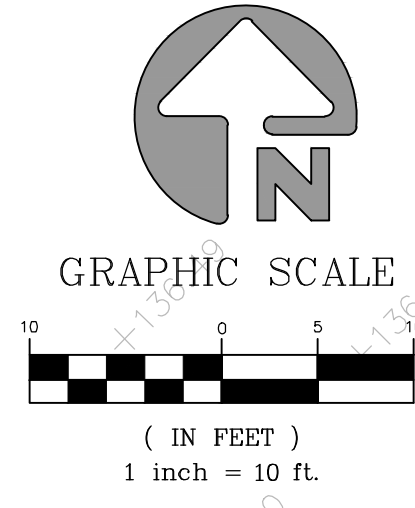
**CENTRAL FLORIDA RECOVERY
DEMOLITION & EROSION CONTROL PLAN**

HEI
HIGHLAND ENGINEERING, INC.
79 West Wilma Street
Orlando, Florida 32806
Office 407-275-7877
Fax 407-275-7901
CA No. 27612

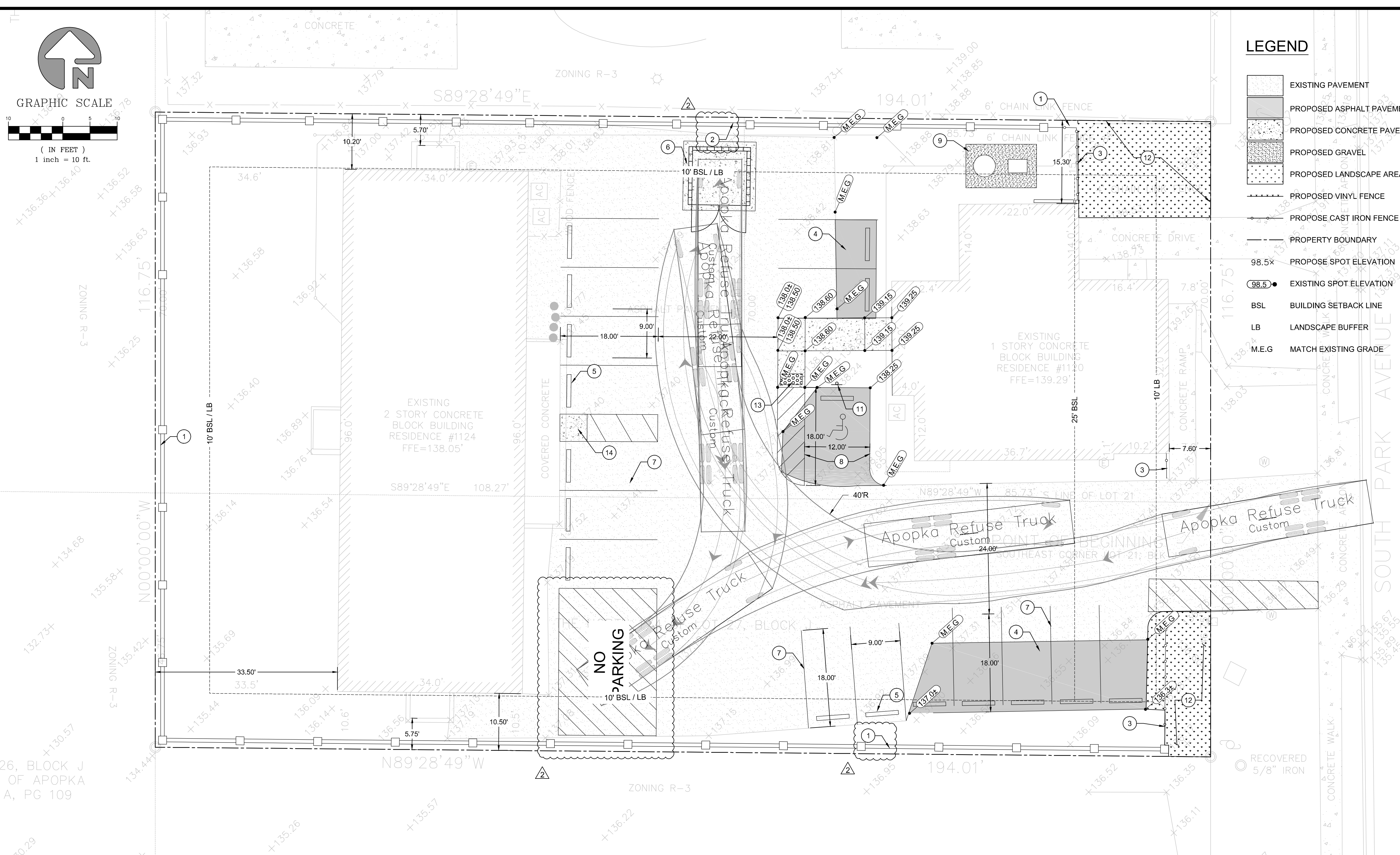
JOB No.: CFR-001
DESIGNED BY: JNB
DRAWN BY: DB
APPROVED BY: JNB
DATE: 05.02.16
SHEET: C1.1

NOT FOR CONSTRUCTION UNLESS SIGNED AND SEALED

No 64122
JEFFERY W. BANKER, P.E.
REGISTRATION No. 64122
FLORIDA
DATE: 05/02/16



(IN FEET)
1 inch = 10 ft.

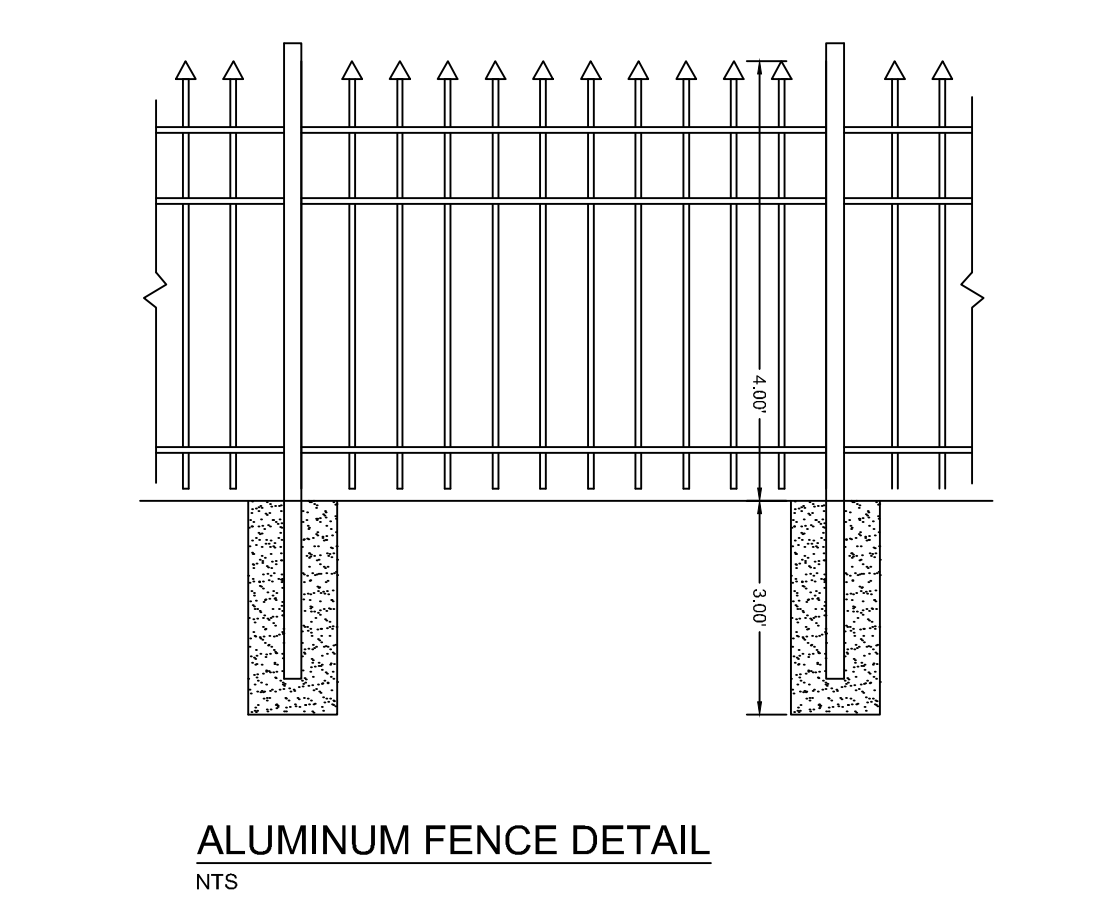
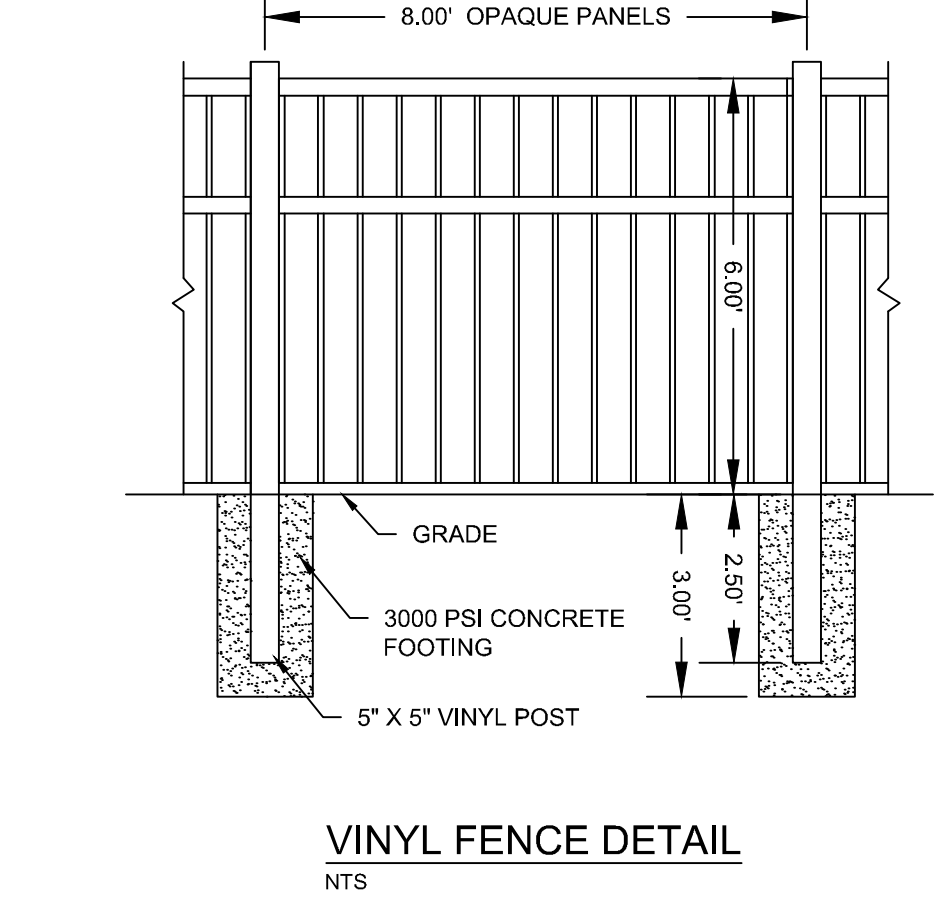
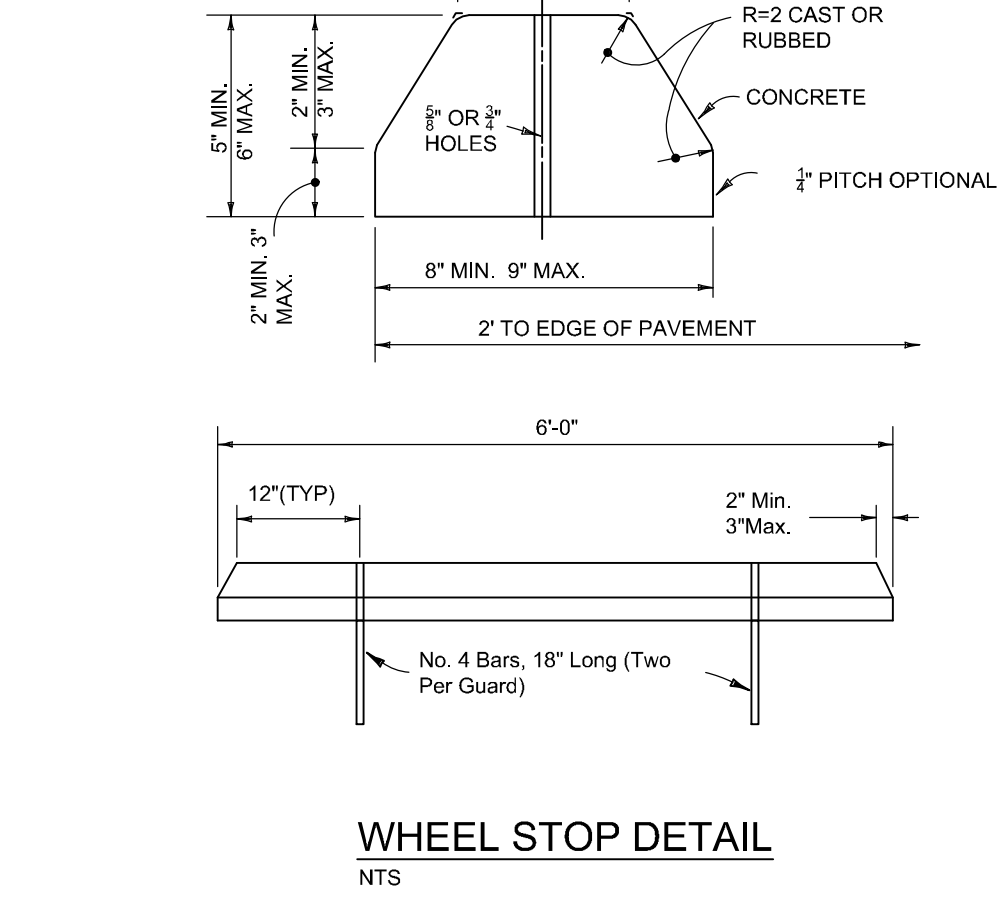
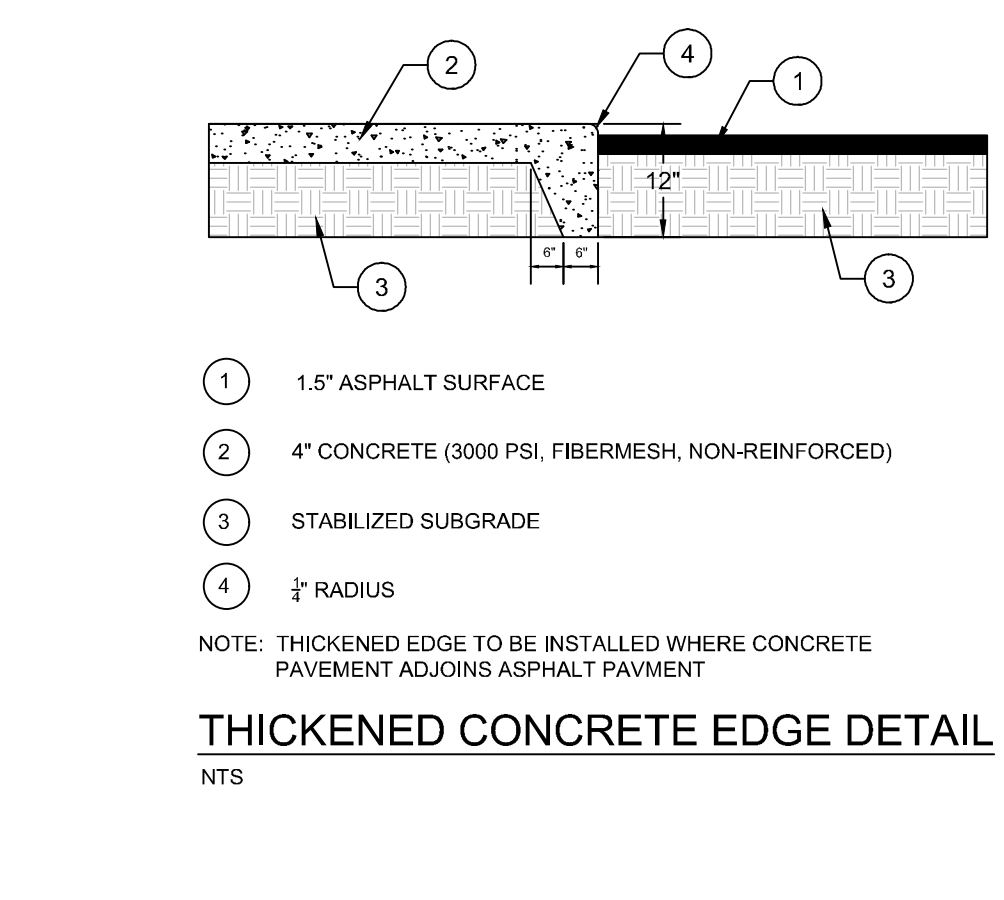
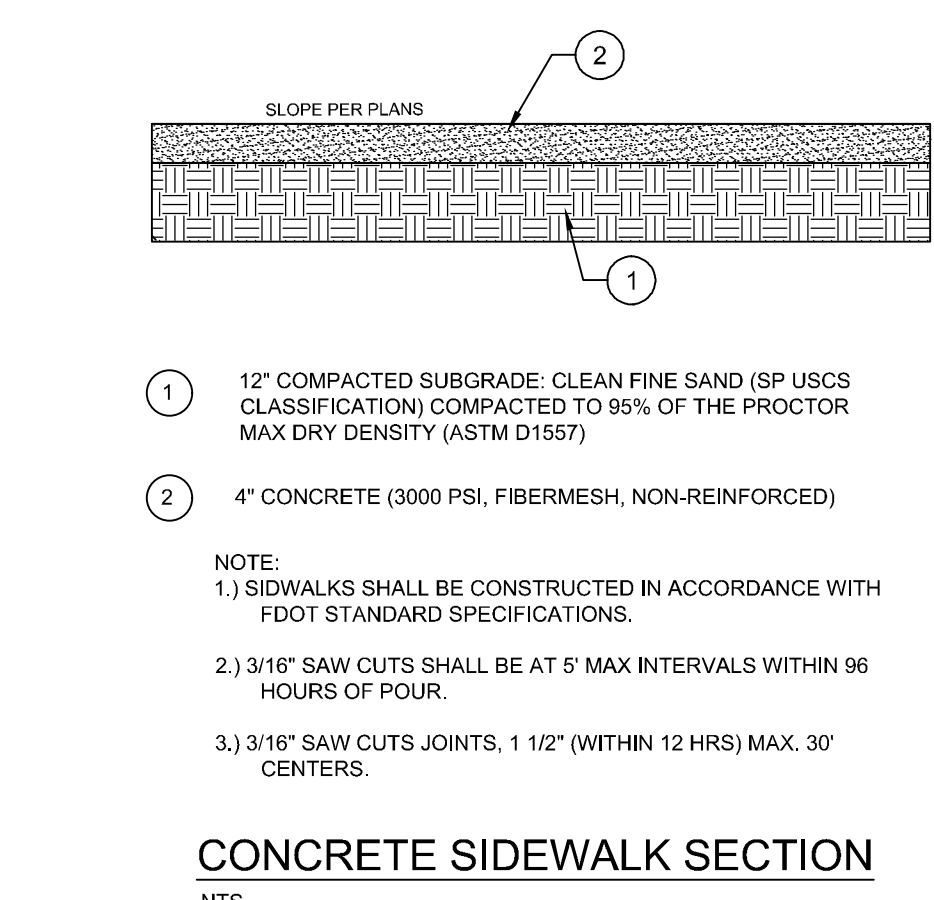
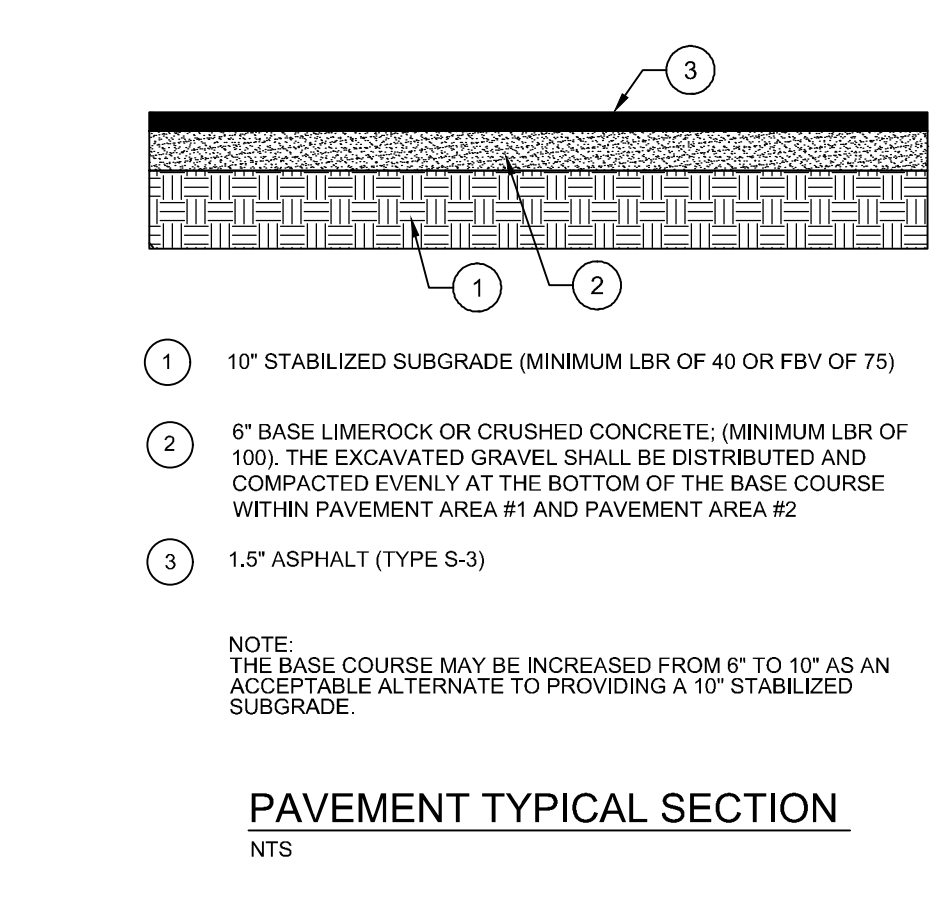
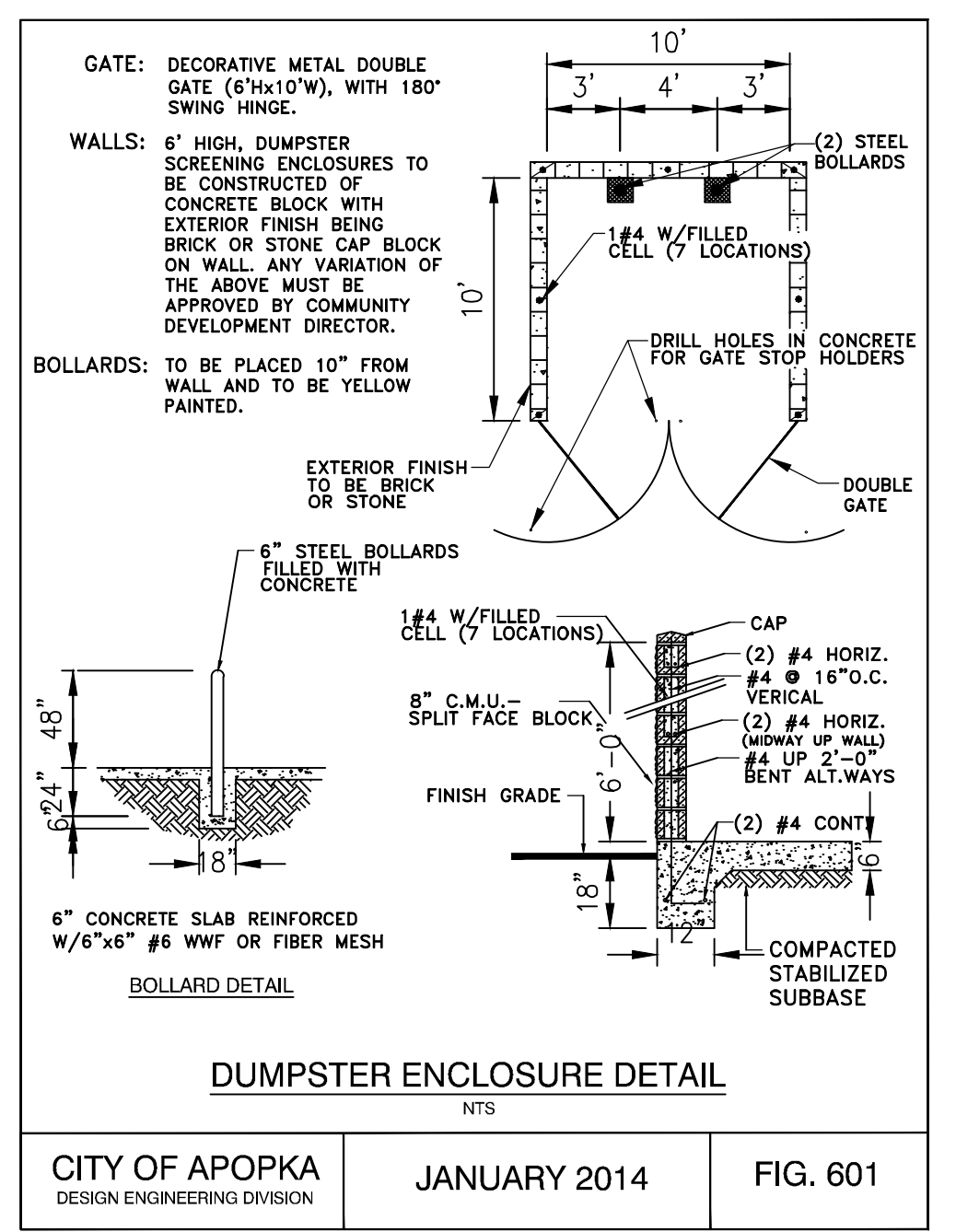


LEGEND

- EXISTING PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED GRAVEL
- PROPOSED LANDSCAPE AREA
- PROPOSED VINYL FENCE
- PROPOSED CAST IRON FENCE
- PROPERTY BOUNDARY
- 98.5x PROPOSED SPOT ELEVATION
- 98.5 EXISTING SPOT ELEVATION
- BSL BUILDING SETBACK LINE
- LB LANDSCAPE BUFFER
- M.E.G. MATCH EXISTING GRADE

KEY NOTES

- 1 6' HIGH MASONRY SCREEN WALL (PERMITTED BY OTHERS)
- 2 6' HIGH MASONRY SCREEN WALL or 6' VINYL PRIVACY FENCE ALONG NORTH PROPERTY LINE
- 3 CAST IRON or DECORATIVE ALUMINUM FENCE (SEE DETAIL THIS SHEET)
- 4 PROPOSED ASPHALT PAVEMENT
- 5 CURB STOP - TYP. (SEE DETAIL THIS SHEET)
- 6 DUMPSTER ENCLOSURE AND PAD (SEE DETAIL THIS SHEET)
- 7 4" WHITE PARKING STRIPE (TYP. - SEE DETAIL SHEET C1.1)
- 8 6" BLUE HANDICAP PARKING SPACE (SEE DETAIL SHEET C1.1)
- 9 LIFT STATION (SEE SHEETS C3.0 AND C4.0))
- 10 NOT USED
- 11 HANDICAP PARKING SIGN
- 12 LANDSCAPING AND IRRIGATION TO BE IN ACCORDANCE WITH CITY ORDINANCE NO. 2069
- 13 2' DETECTABLE WARNING STRIP
- 14 CONCRETE RAMP - MAX SLOPE OF 8%



REV.	DATE	DESCRIPTION
1	6-30-2016	REVISED PER CITY OF APOPKA COMMENTS
2	8-1-2016	REVISED PER CITY OF APOPKA COMMENTS

CENTRAL FLORIDA RECOVERY
SITE PLAN & DETAILS

HEI
HIGHLAND ENGINEERING, INC.
73 West Wilma Street
Orlando, Florida 32806
Office: 407-275-7877
Fax: 407-275-7901
CA No. 27612

JOB No.: CFR-001
DESIGNED BY: JB
DRAWN BY: DB
APPROVED BY: JB
DATE: 05.02.16
SHEET: C2.0

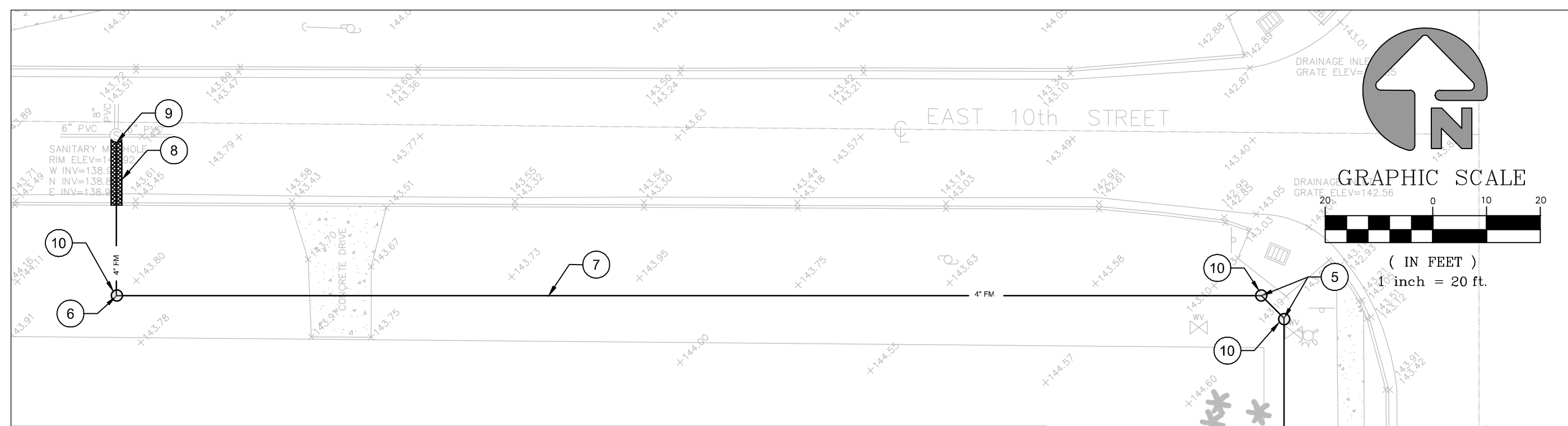
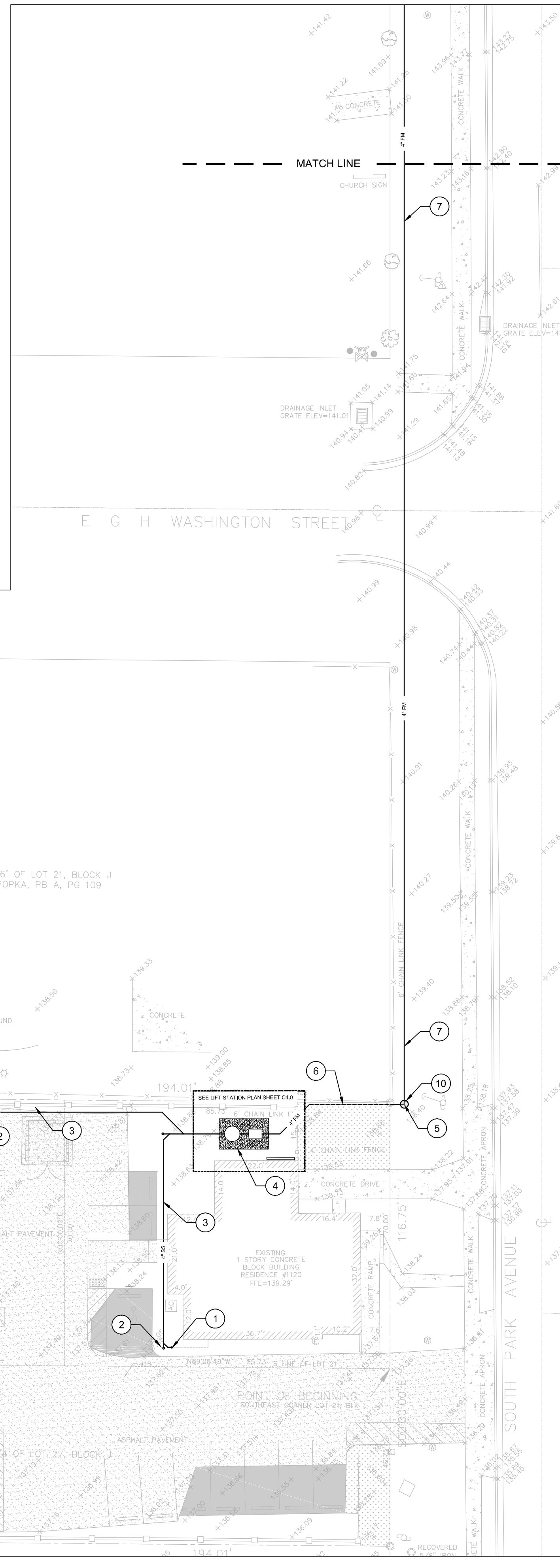
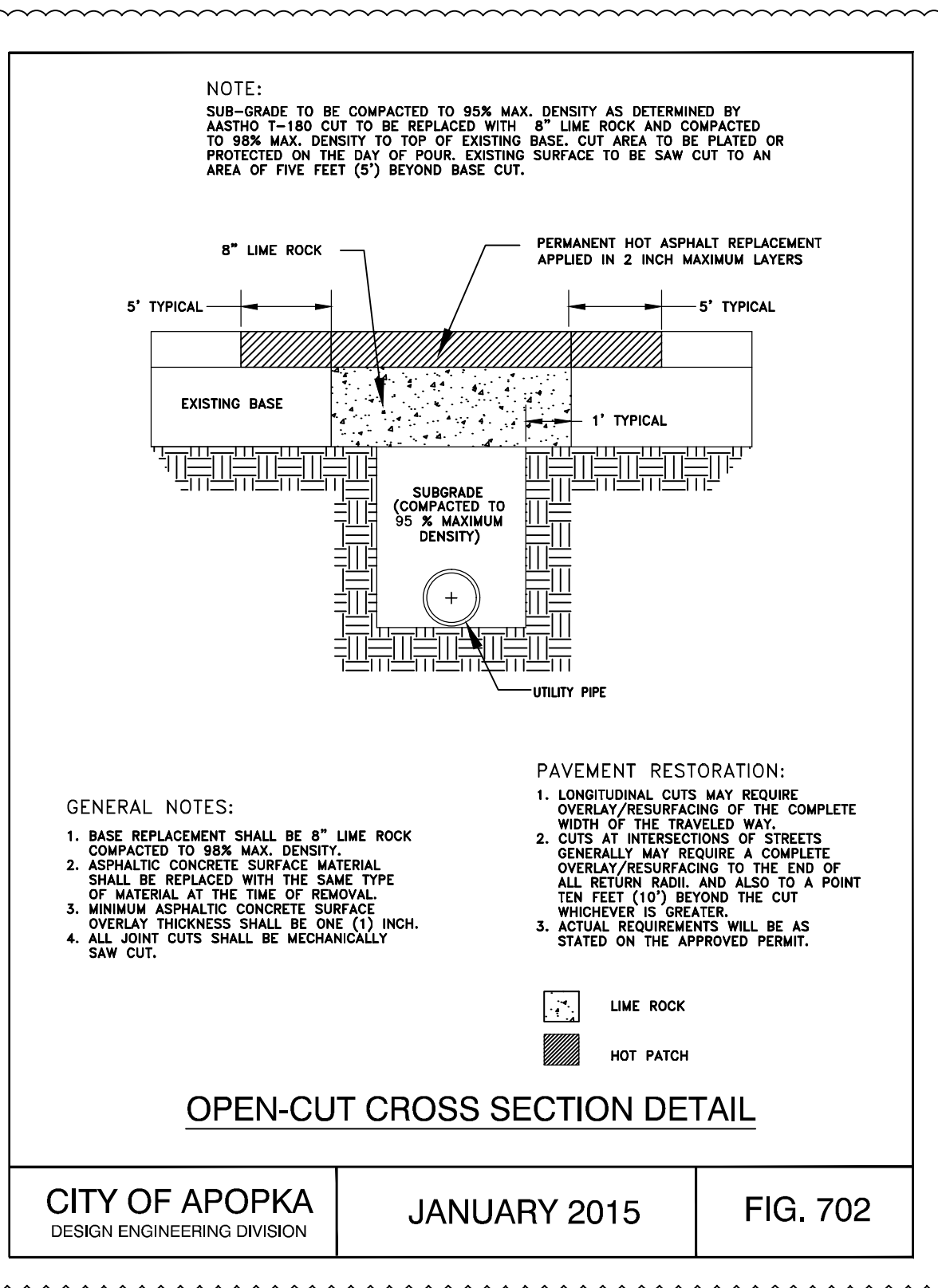
NOT FOR CONSTRUCTION UNLESS SIGNED AND SEALED

No 64122

JEFFERY W. BANKER, P.E.
REGISTRATION No. 64122
FLORIDA

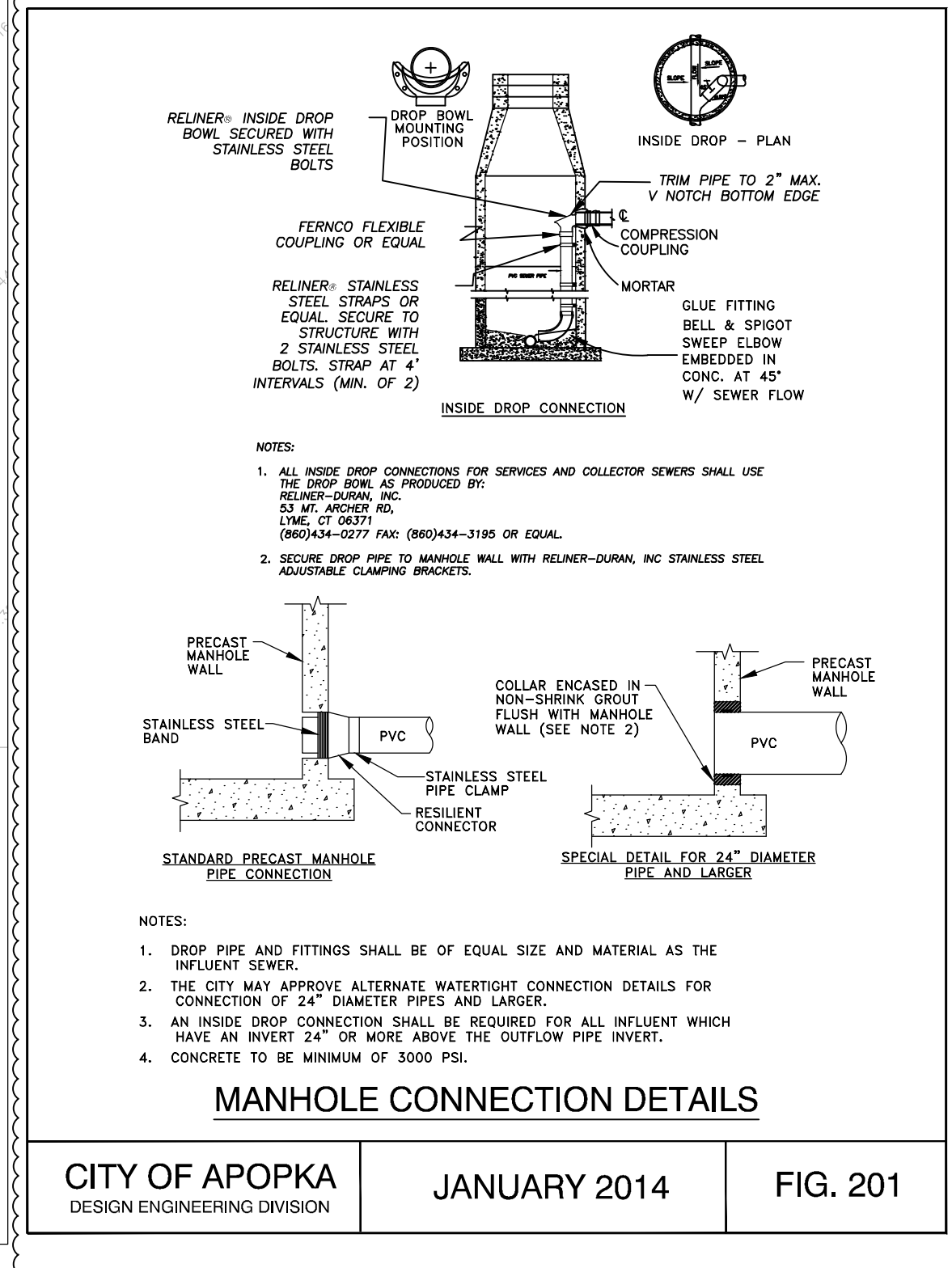
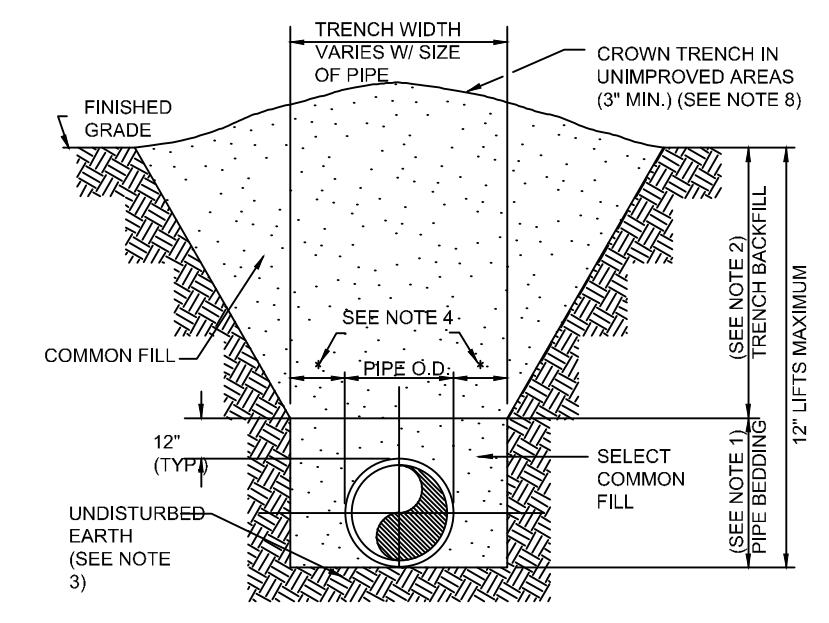
DATE: 05.02.16

Dbrinkman 8/5/2016 J:\CFR-001\Drawings\Construction Plans\C2.0 - SITE PLAN - CFR-001.dwg

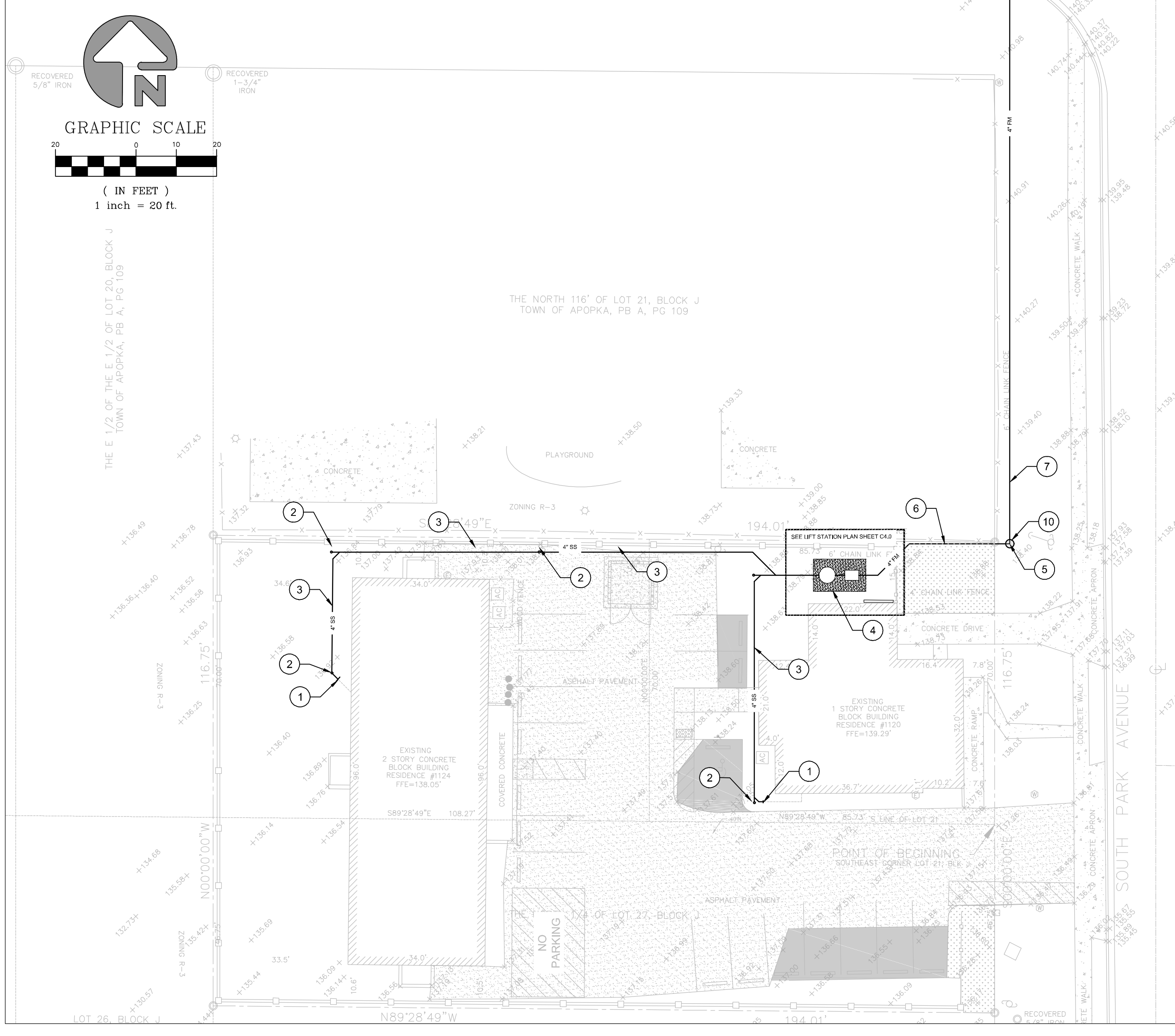
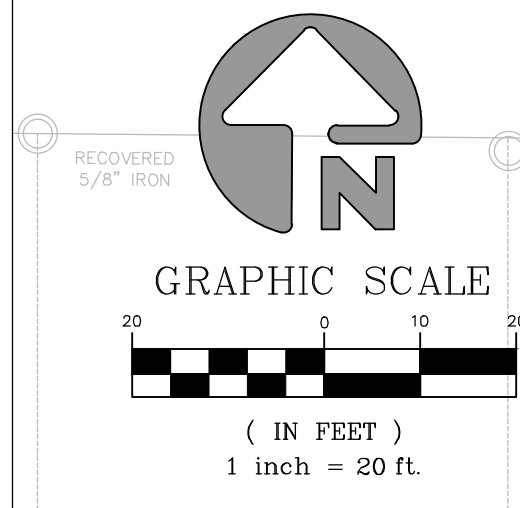


- KEY NOTES**
- CONNECT TO EXISTING 4" SANITARY (SCH. 40 PVC)
 - 4" CLEANOUT
 - 4" SANITARY SEWER PIPING (SCH. 40 PVC) @ 1.0% MIN SLOPE
 - SANITARY SEWER LIFT STATION (SEE LIFT STATION PLAN SHEET C4.0)
 - 4" MJ FITTING
 - 4" HDPE FORCE MAIN PIPING (TRENCHED INSTALLED - SEE DETAIL THIS SHEET)
 - 4" HDPE FORCE MAIN PIPING (DIRECTION DRILLED)
 - SAWCUT AND REMOVE PAVEMENT TO ACCOMADATE FORCE MAIN INSTALLATION (SEE DETAIL THIS SHEET - COORDINATE WITH CITY OF APOPKA)
 - CONNECT TO EXISTING MANHOLE (SEE DETAIL THIS SHEET)
 - BORE / RECEIVING PIT WHERE REQUIRED

- DIRECTIONAL BORING NOTES**
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO LOCATE AND IDENTIFY EXISTING UTILITIES.
 - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AT ALL POINTS OF CROSSINGS AND/OR CONFLICTS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM SEPARATION OF 18" AT POINTS OF UTILITY CROSSINGS.
 - CONTRACTOR SHALL OBTAIN REQUIRED ORANGE COUNTY RIGHT OF WAY AND MOT PERMITS PRIOR TO WORK IN THE PARK AVENUE RIGHT OF WAY.



- MANHOLE CONNECTION NOTES**
- CONTRACTOR SHALL LINE THE INTERIOR SURFACES OF THE MANHOLE IN ACCORDANCE WITH THE CITY OF APOPKA UTILITY DESIGN AND CONSTRUCTIONS MANUAL, APPENDIX C2.



CENTRAL FLORIDA RECOVERY

SITE UTILITY PLAN & DETAILS

HEI
HIGHLAND ENGINEERING, INC.
 73 West Wilma Street
 Orlando, Florida 32806
 Office 407-275-7877
 Fax 407-275-7901
 CA No. 27612

JOB No.: CFR-001
 DESIGNED BY: JB
 DRAWN BY: DB
 APPROVED BY: JB
 DATE: 05.02.16
 SHEET: C3.0

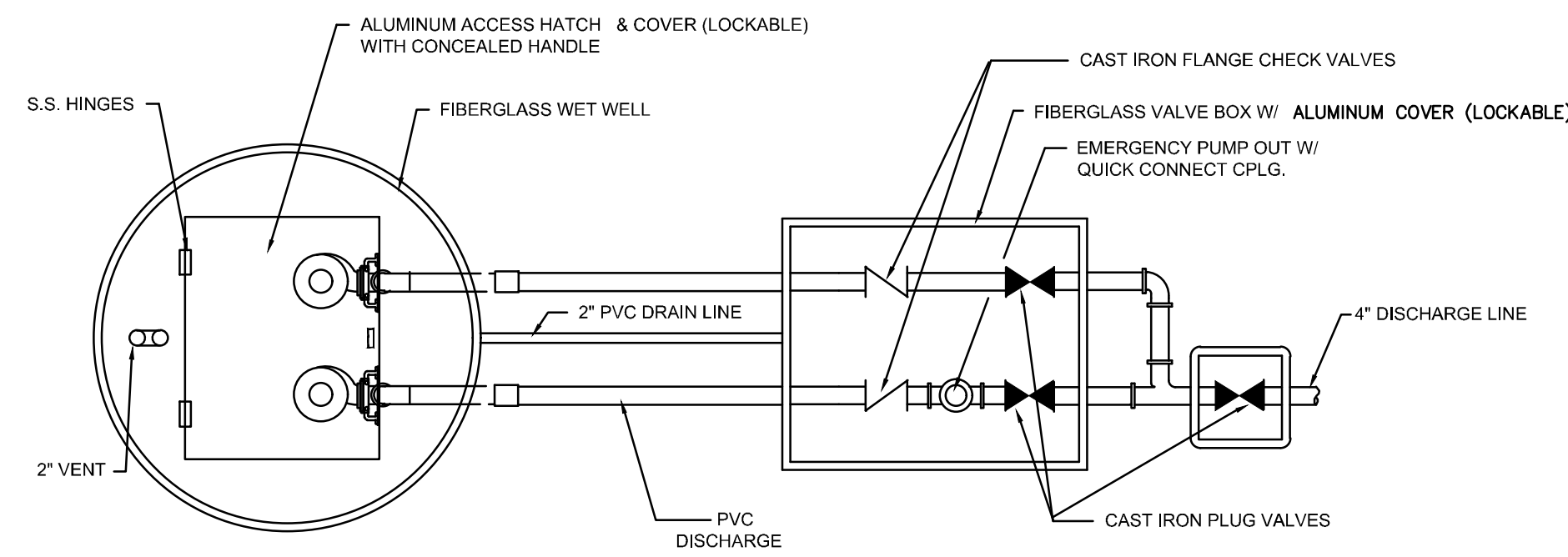
NOTE FOR CONSTRUCTION UNLESS SIGNED AND SEALED

No 64122
 JEFFERY W. BANKER, P.E.
 REGISTRATION No. 64122
 FLORIDA
 DATE 05/02/16

REV.	DATE	DESCRIPTION
1	6-30-2016	REVISED PER CITY OF APOPKA COMMENTS
2	8-1-2016	REVISED PER CITY OF APOPKA COMMENTS

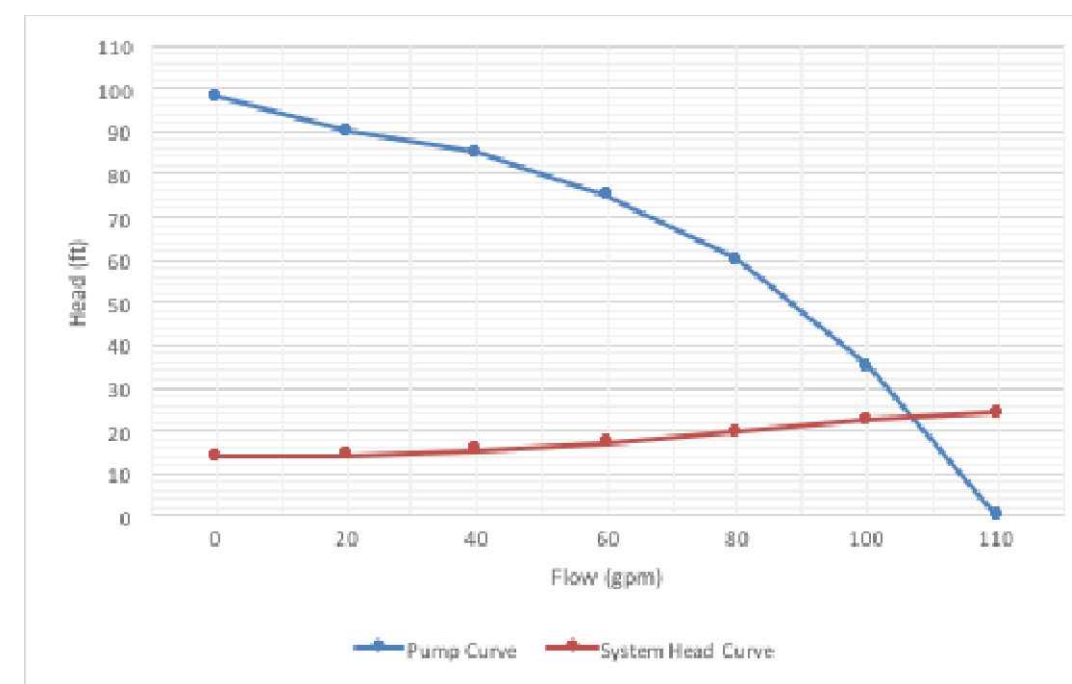
JWB
 JWB
 APPD BY

CONTROL PANEL SHALL BE MANUFACTURED BY
A UL508/ 913 APPROVED SHOP

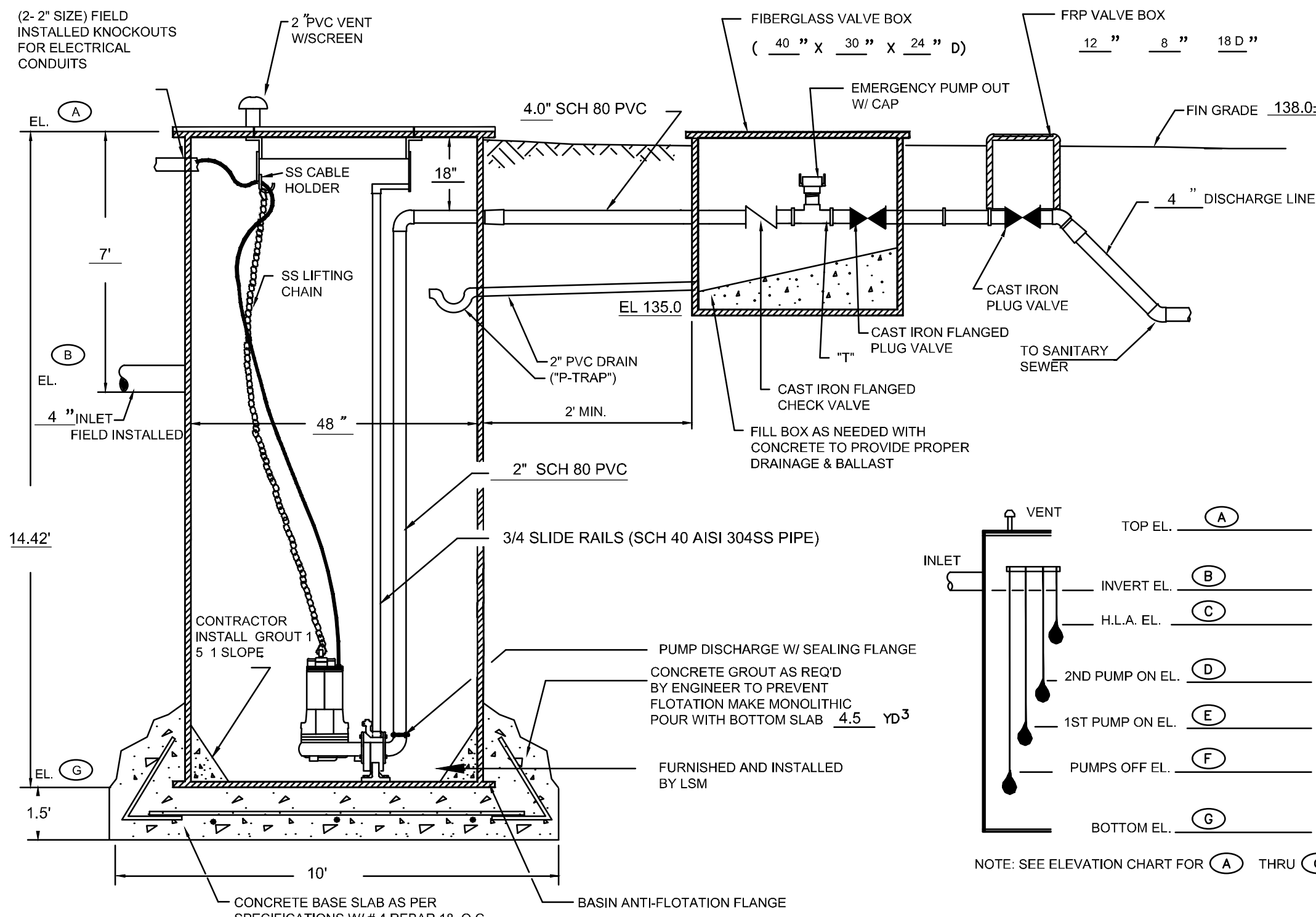


LIFT STATION PLAN
NTS

PUMP DATA CHART		ELEVATION CHART	
1	PRIMARY PUMP CAPACITY	105	(A) TOP OF WETWELL
2	PRIMARY TDH	24	(A) TOP OF VALVE BOX
3	SECONDARY PUMP CAPACITY	105	(B) INLET INVERT
4	SECONDARY TDH	24	(C) HIGH LEVEL ALARM
5	PEAK INFLUENT FLOW RATE	15	(D) 2nd PUMP ON
6	PUMP CYCLE TIME	15	(E) 1st PUMP ON
7	PUMP SYSTEM MANUFACTURER	LSM	(F) PUMPS OFF
8	PUMP MODEL NO.	BARNES	(G) BOTTOM OF WETWELL
9	R.P.M.	3450	
10	HORSE POWER	3	
11	ELECTRICAL VOLTS/PHASE	240/3	
12	FULL LOAD F.L.A. PER PUMP	17	
	F.L.A. TOTAL	34	
13	PUMP DISCHARGE	2	
14	IMPELLER DIA.	5.0"	

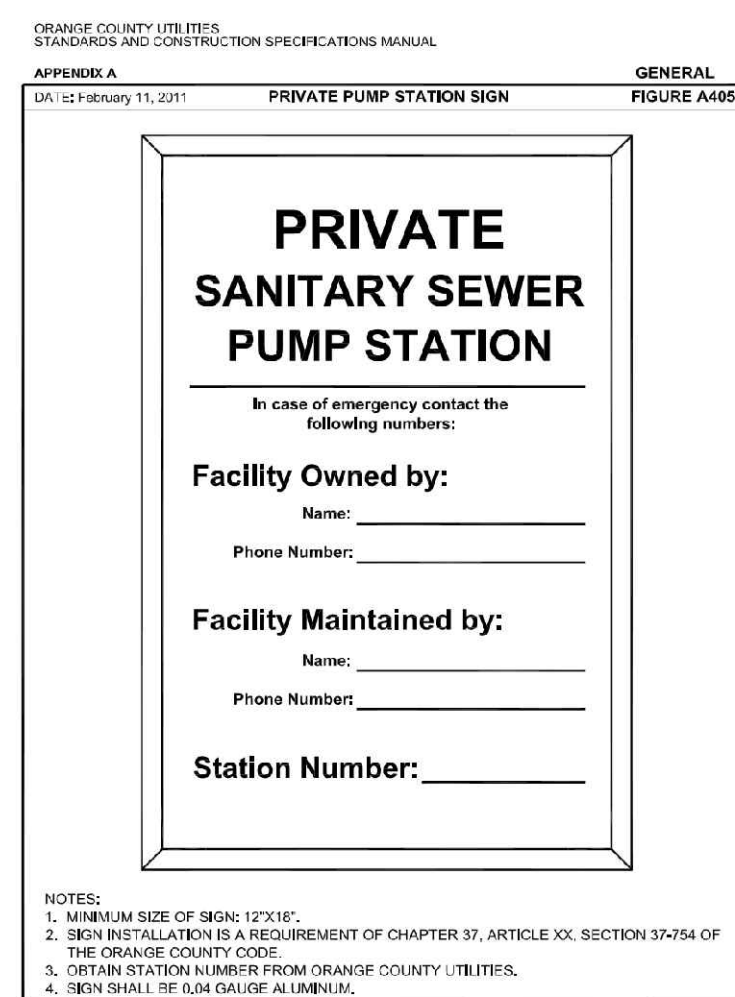


PUMP CURVE INFORMATION



LIFT STATION SECTION
NTS

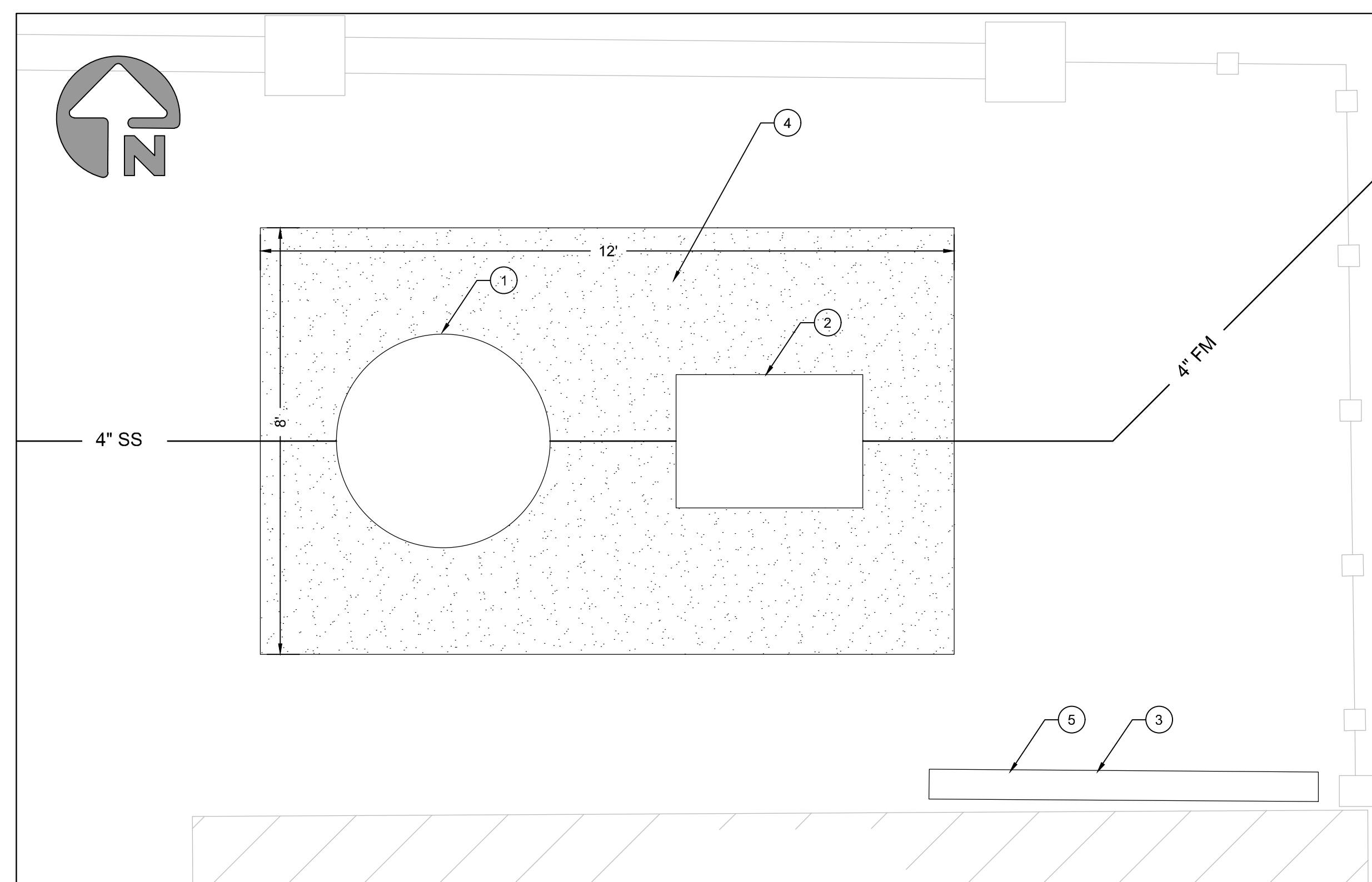
LEVEL CONTROL DIAGRAM



PUMP STATION SIGN DETAIL

LIFT STATION PLAN KEY NOTES

- 1 FIBERGLASS WET WELL
- 2 VALVE BOX
- 3 CONTROL PANEL
- 4 CRUSHED CONCRETE ROAD BASE (6" THICK)
- 5 PRIVATE PUMP STATION SIGN TO BE MOUNTED TO NORTH FACE OF CONTROL PANEL (SEE PUMP STATION SIGN DETAIL - THIS SHEET)



LIFT STATION PLAN

SCALE: 1" = 2'

LSM Grinder/Pac.

GRINDER PUMP SPECIFICATION

PART 1 - GENERAL

1.01. Furnish and install two grinder pumps to deliver 105 GPM against a total head of 24 feet Total Dynamic Head (TDH). Pumps shall be capable of handling domestic sewage with the motor shall be 3 HP, 3450 RPM, minimal maintenance, 240VOLT/ 3PHASE/ 60 HERTZ. The motor shall be an integral part of the pumping unit. Pump discharge size shall be 2 inch. Pump, control system, and FRP (fiberglass reinforced polyester) wetwell shall be LSM Grinder/Pac. Provided and manufactured by Lift Station Manufacturing Corporation of Oviedo, Florida, 32765 Ph# (407) 977-8600

Contract award shall be on the basis of the base bid LSM/Grinder Pac system. Alternative deductive systems shall be considered only after contract award. Alternative deductive system must be specified at bid time. The contractor shall reimburse the engineer for additional expenses to review alternative system. Any savings shall be shared with the owner.

Due to the superior corrosion resistance and leak proof design of fiberglass, a concrete wetwell will NOT be permitted.

The entire lift station system shall be supplied by the pump supplier and certification of supply will be required.

Any Deviation in the Specified Bid Procedure will result in automatic rejection of alternative systems and will require base bid system to be supplied.

PART 2 - PRODUCTS

2.01 GRINDER PUMP - Pump shall be of the centrifugal BARNES type SGV3032L Model with an integrally built grinder unit and submersible type motor. The pump shall be mounted in the FRP basin by a dual slide rail system in such a way that solids are fed in an up-flow direction to the grinder impeller with no feet or other obstruction below the grinder inlet.

The grinder unit shall be capable of macerating all material in normal domestic and commercial sewage including reasonable amounts of foreign objects such as wood, plastic, glass, rubber, sanitary napkins, disposable diapers and the like to a fine slurry that will pass freely through the pump and the discharge pipe.

The pump motor shall be of the submersible type. Single phase motors shall be of the capacitor start, capacitor run type for high starting torque.

Stator windings shall be of the open type with Class F insulation for operating in air or clean dielectric oil that lubricates bearings and seals and cools the windings. Motor stator shall be pressed into housing for best alignment and maximum heat transfer.

A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with the magnetic contactor coil in control box to stop motor if motor winding temperature reaches 200 degrees F. Thermostat to automatically reset when motor cools. Two heat sensors are to be used on 3 phase motors.

The common motor pump and grinder shaft shall be of AISI 416 SS threaded to take pump impeller and grinder impeller.

2.02 DUPLEX PUMP CONTROL PANEL -

- a. Shall be designed and installed per manufacturer's recommendations
- b. Watts - 8b vacuum breaker installed on hose bib
- c. Jump control shall be located 3 feet from wet well perimeter, optionally at "A", "B" or "C".

2.03 FASTENER AND APPURTENANCES- All fasteners, lifting cables, float cable bracket and appurtenances shall be made of AISI 304SS or other material inert to the highly corrosive atmosphere of a sewage lift station. Hinges for the wet well and valve box shall be AISI 304SS minimum.

An aluminum slidelatch assembly shall be provided for holding the doors open on both the wet well and the valve box. Slide rails shall be SCH 40 AISI 304SS pipe.

Pump lifting devices shall be made of AISI 304SS (min.) cable (1/4" min) or 304SS chain of sufficient size, with safety factor to AISI 304SS (min.) pump lifting handle safely the specific pumps. Balls shall be provided

2.04 FRP PRODUCTS - The pump wetwell shall be manufactured of fiber 2.04 glass reinforced polyester (FRP) of diameter and depth as shown on the lift station elevation detail. The basin/wetwell wall thickness shall be adequate for the depth of the tank to maintain structural integrity in the following condition:
1. Soil modulus of 700 psi.
2. Soil density of 120 lbs/ft
3. Luschers safety factor of 2.0.

Material for the FRP shall be as follows:
Resin: The resins used shall be a commercial grade unsaturated "isothalic" polyester resin. Orthothalic resins are not acceptable.

Reinforcing Materials: The reinforcing material shall be commercial grade "E" type glass in the form of mat, chopped or roving fabric, having a coupling agent that will provide a suitable bond between the glass reinforcement and the resin.

Fillers and Additives: Fillers of any type shall not be utilized. Additives, such as thixotropic agents, catalysts, promoters, etc., may be added as required by the specific manufacturing process to be used to meet the requirements of this specification.

PART 3 - EXECUTION

3.01 INSTALLATION - shall be in strict accordance with the manufacturer's instructions and recommendations in the locations shown on the drawing.

3.02 INSPECTION AND TESTING - A factory representative shall be 3.02 provided for one (1) day and shall have complete knowledge of proper operation and maintenance to inspect the final installation and supervise the test run of the equipment. Megger the motor. The pump motors shall be meggered out prior to startup to ensure the insulation of the pump motor/cable system is intact. The pump controls and pumps shall be checked for mechanical reliability and proper operation.

NOTE: Alarm Signals if Controls Fail

REV.	DATE	DESCRIPTION	APP'D BY
1	6-30-2016		JNB

CENTRAL FLORIDA RECOVERY
LIFT STATION PLAN & DETAILS

HEI
HIGHLAND ENGINEERING, INC.
70 West Wilma Street
Orlando, Florida 32806
Office 407-275-7877
Fax 407-275-7901
CA No. 27612

JOB No.: CFR-001
DESIGNED BY: JB
DRAWN BY: DB
APPROVED BY: JB
DATE: 05.02.16
SHEET: C4.0

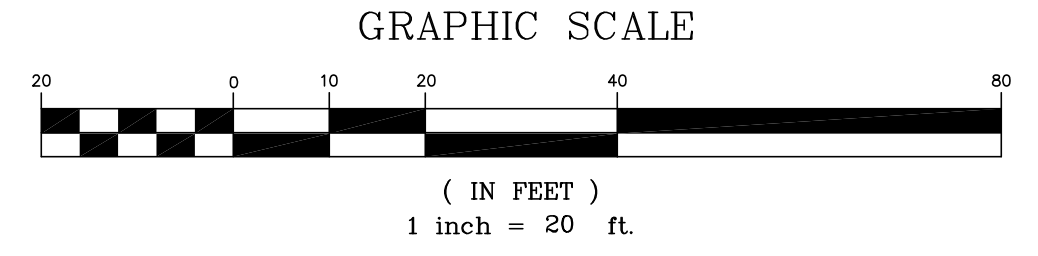
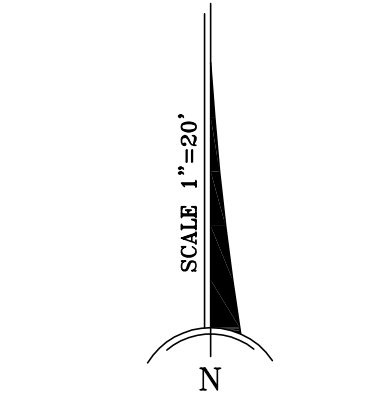
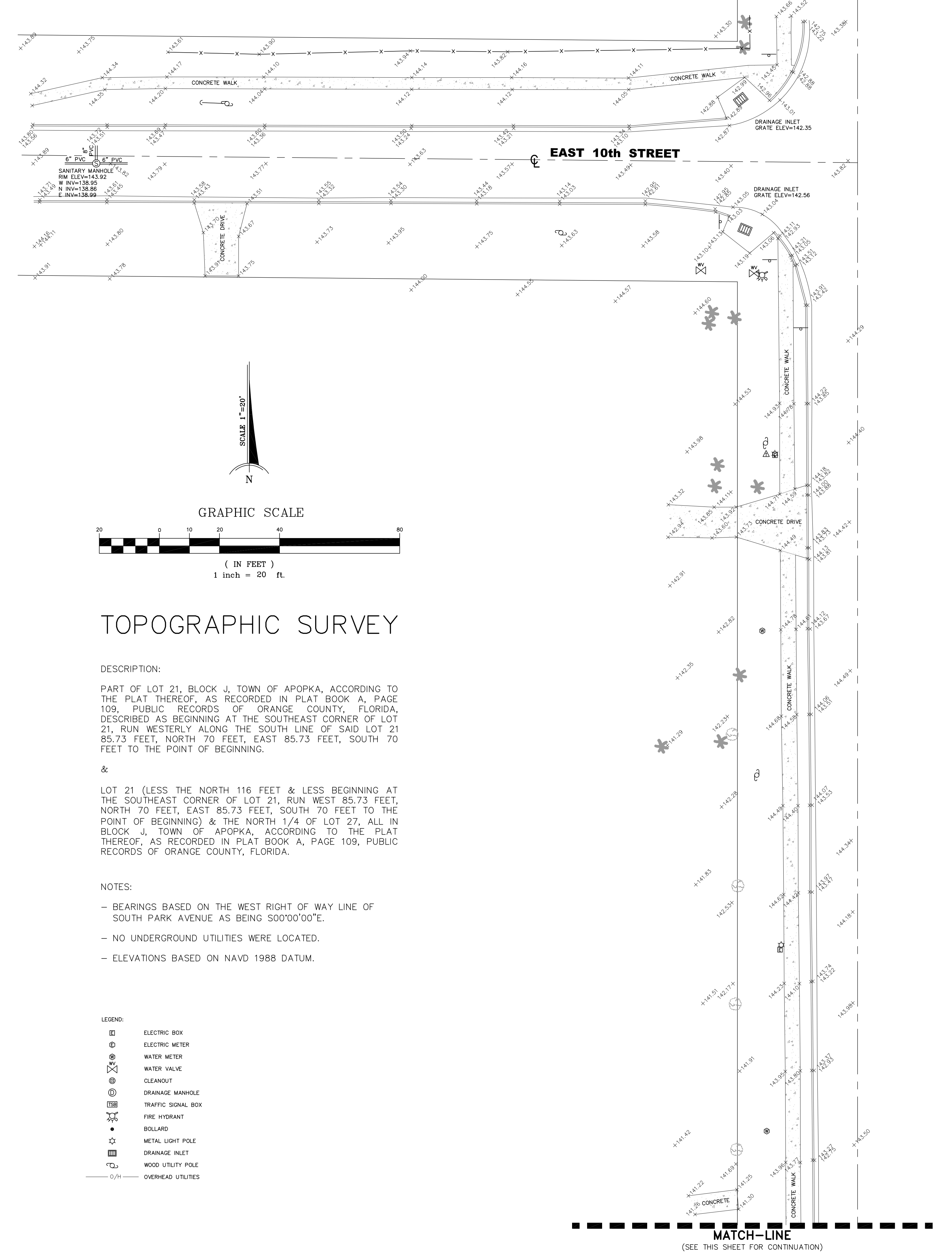
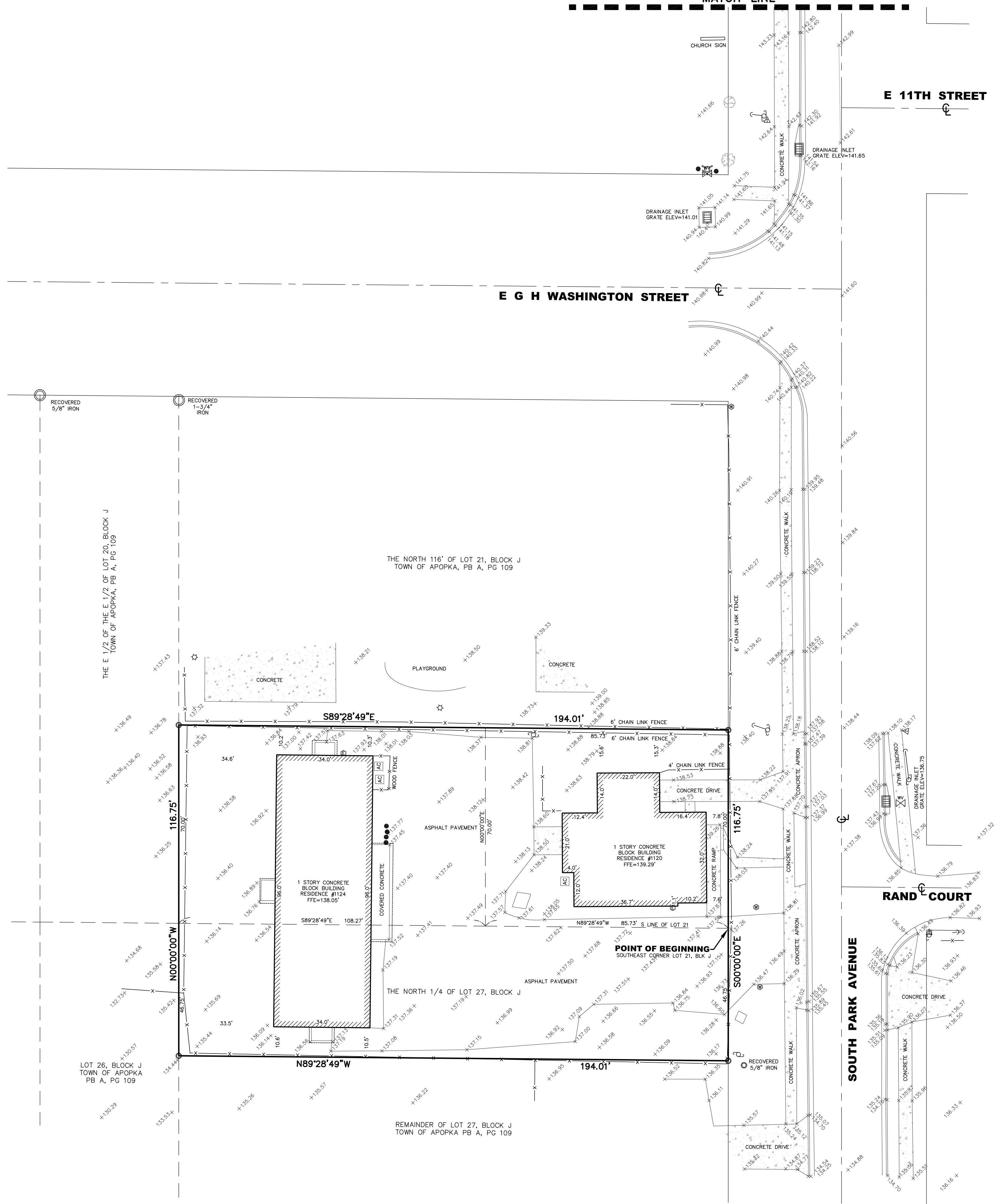
NOT FOR CONSTRUCTION
UNLESS SIGNED AND SEALED

No 64122

JEFFERY W. BANKER, P.E.
REGISTRATION No. 64122
DATE: 05/02/16

(SEE THIS SHEET FOR CONTINUATION)

MATCH-LINE



TOPOGRAPHIC SURVEY

DESCRIPTION:
 PART OF LOT 21, BLOCK J, TOWN OF APOPKA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE 109, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, DESCRIBED AS BEGINNING AT THE SOUTHEAST CORNER OF LOT 21, RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 21 85.73 FEET, NORTH 70 FEET, EAST 85.73 FEET, SOUTH 70 FEET TO THE POINT OF BEGINNING.

&
 LOT 21 (LESS THE NORTH 116 FEET & LESS BEGINNING AT THE SOUTHEAST CORNER OF LOT 21, RUN WEST 85.73 FEET, NORTH 70 FEET, EAST 85.73 FEET, SOUTH 70 FEET TO THE POINT OF BEGINNING) & THE NORTH 1/4 OF LOT 27, ALL IN BLOCK J, TOWN OF APOPKA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE 109, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

NOTES:
 - BEARINGS BASED ON THE WEST RIGHT OF WAY LINE OF SOUTH PARK AVENUE AS BEING S00°00'00"E.
 - NO UNDERGROUND UTILITIES WERE LOCATED.
 - ELEVATIONS BASED ON NAVD 1988 DATUM.

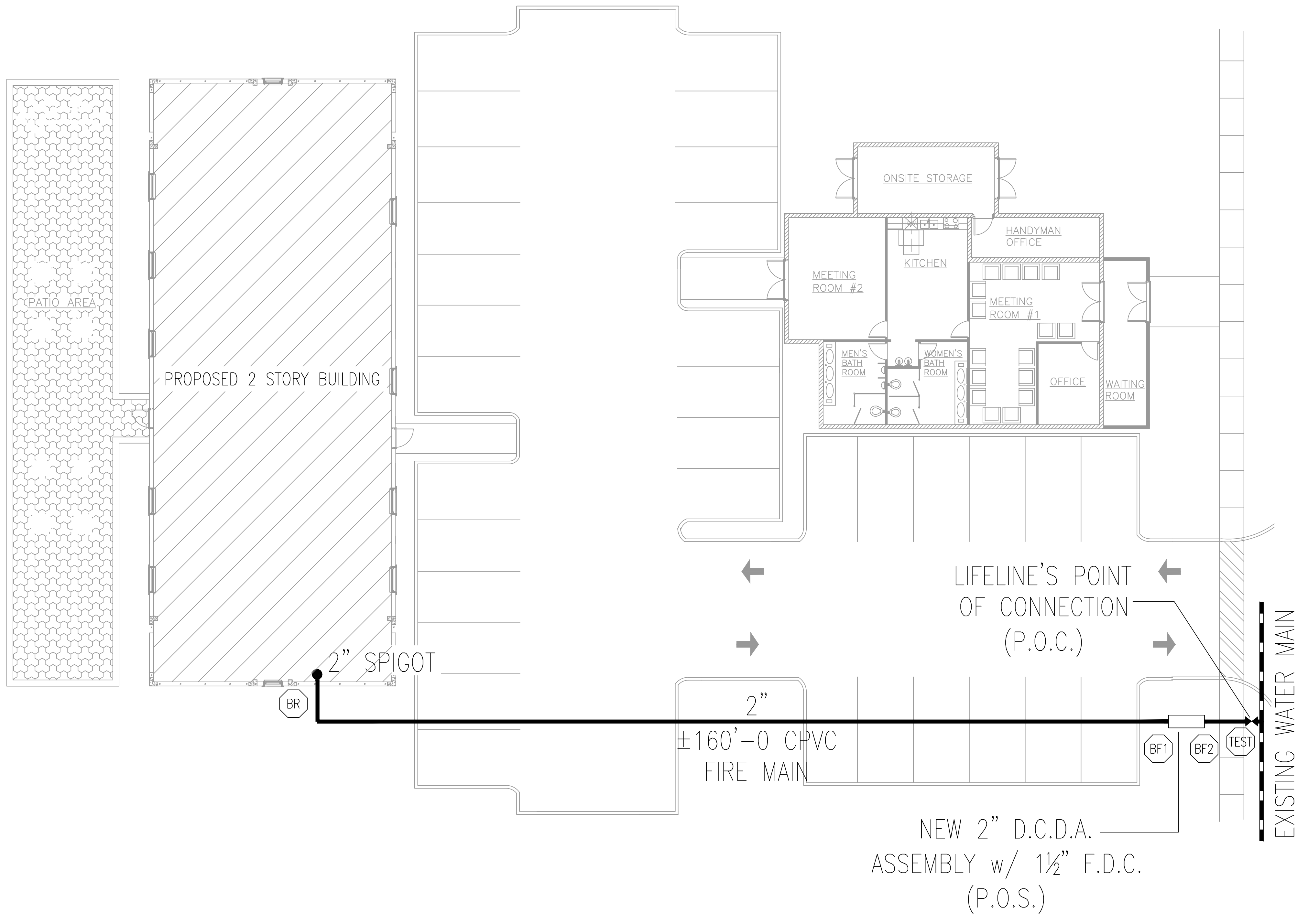
- LEGEND:
- ELECTRIC BOX
 - ELECTRIC METER
 - WATER METER
 - WATER VALVE
 - CLEANOUT
 - DRAINAGE MANHOLE
 - TRAFFIC SIGNAL BOX
 - FIRE HYDRANT
 - BOLLARD
 - METAL LIGHT POLE
 - DRAINAGE INLET
 - WOOD UTILITY POLE
 - OVERHEAD UTILITIES

MATCH-LINE
 (SEE THIS SHEET FOR CONTINUATION)

SHANNON SURVEYING, INC.
 499 NORTH S.R. 434 - SUITE 2155
 ALTAMONTE SPRINGS, FLORIDA, 32714
 (407) 774-8372 LB # 6898

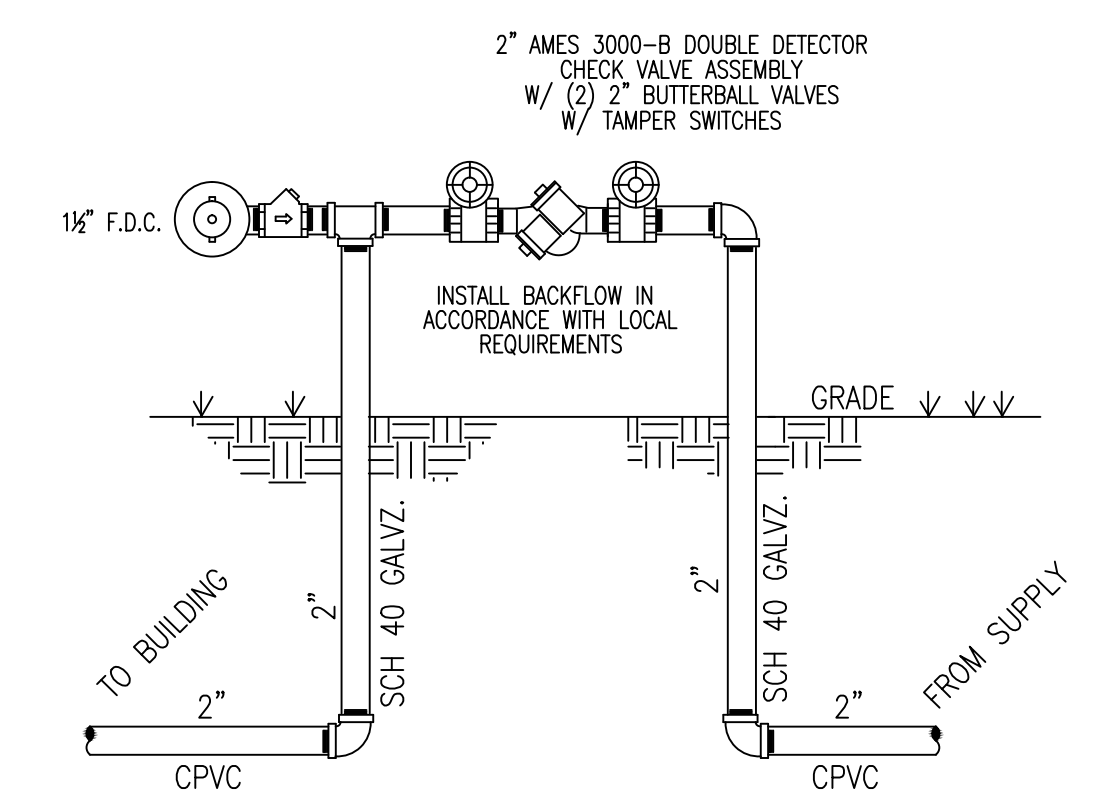
DATE OF SURVEY: 04-04-2016
 FIELD BY: WB, ZS SCALE: 1"=20'
 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
 FILE NUMBER: PBA-P0109-BLK-L0721

BY	R.B.
REVISION DESCRIPTION	APPROVALS
DATE	6-13-16
NO.	0
CONTRACT #	
DRAWN :	R.B.
CHECKED :	F.C.
DATE :	6-13-16
TOTAL HEADS :	90
SCALE :	AS NOTED

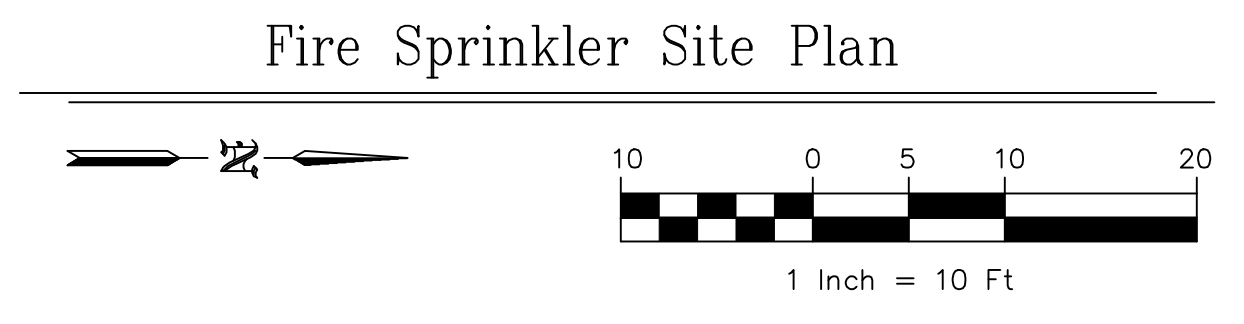


- UNDERGROUND FIRE MAIN NOTES:
1. ALL MATERIAL AND INSTALLATION TO BE IN ACCORDANCE WITH NFPA 24, 2010 EDITION, AND THE LOCAL AUTHORITY.
 2. ALL JOINTS TO BE RESTRAINED USING BELL RESTRAINTS AND MEGALUGS IN ACCORDANCE WITH NFPA 24, 2007 EDITION AND THE LOCAL AUTHORITY.
 3. ALL PIPING TO HAVE A 36" MINIMUM DEPTH OF BURY FROM TOP OF PIPE TO FINISHED GRADE.
 4. ALL PIPING TO BE FLUSHED AND HYDROSTATICALLY TESTED IN ACCORDANCE WITH NFPA 24, 2010 EDITION, AND THE LOCAL AUTHORITY.
 5. ALL MATERIAL SUBJECT TO CORROSION TO BE CLEANED AND COATED WITH BITUMINOUS TAR.

FLOW TEST DATA	
STATIC:	60 PSI
RESIDUAL:	50 PSI
FLOW:	1,000 GPM
DATE:	6-12-16
TIME:	9:00 AM
LOCATION:	HYDRANT NEAR SITE
BY:	LIFELINE FIRE PROTECTION



Backflow Preventer Detail
 No Scale



Backup material for agenda item:

1. PLATS – SILVER OAK SUBDIVISION, PHASES 1 AND 2 - Owned by Development Solutions SH, LLC, c/o Christian Swann, property located north of East Keene Road, west of Sheeler Avenue. (Parcel ID #s: 22-21-28-0000-00-078; 22-21-28-0000-00-079; 22-21-28-0000-00-081; 22-21-28-0000-00-082; 22-21-28-0000-00-105; 22-21-28-0000-00-108; 22-21-28-0000-00-109; 22-21-28-0000-00-114; 22-21-28-0000-00-117; 22-21-28-0000-00-122)



CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 ANNEXATION
 PLAT APPROVAL
 OTHER:

DATE: October 11, 2016
FROM: Community Development
EXHIBITS: Vicinity Map
Aerial Map
Phase 1 and 2 Plats

SUBJECT: SILVER OAK SUBDIVISION – PHASE 1 AND 2 PLATS

REQUEST: RECOMMEND APPROVAL OF THE SILVER OAK SUBDIVISION - PHASE 1 AND 2 PLATS WITH CONDITIONS

SUMMARY

OWNER: Development Solutions SH, LLC. c/o Christian Swann
ENGINEER: Poulos & Bennet, LLC c/o Mark Stehli, P.E.
LOCATION: North of East Keene Road and west of Sheeler Avenue
PARCEL ID NUMBERS: 22-21-28-0000-00-078; -079, -081, -082, -105, -108, -109, -114, -117, -122
FUTURE LAND USE: Residential High (0 – 15 du/ac)
ZONING: R-3 (Residential)
OVERLAY: Small Lot Overlay
PROPOSED DEVELOPMENT: Phase 1 Plat (88 Lots) Phase 2 Plat (94 Lots)
TRACT SIZE: 50.83 +/- acres

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

ADDITIONAL COMMENTS: The Silver Oaks Subdivision proposes a total 182 single family residential units separated into phases. Phase 1 plat will consist of 88 residential lots and 94 residential lots in phase 2. The developer has placed a blanket easement across all residential lots to allow HOA access for lawn maintenance. All residential lawns will be maintained by the HOA. The Phase 1 and 2 plats are consistent with the Final Development Plan and the Preliminary Development Plan.

Access: Ingress/egress for the development will occur from internal public roads connecting at two locations -- Sheeler Avenue and East Keene Road. All subdivision roads are publicly owned and maintained. All alleyways are owned and maintained by the homeowners association.

Stormwater: The stormwater management system includes on-site retention areas designed to meet the City's Land Development Code requirements.

School Capacity Report

Phase 1 and 2 plats do not create any additional residential lots, resulting in no additional impacts to public schools.

Orange County Notification:

Phase 1 and 2 plats do not create any additional residential lots, nor creates impacts on any County utilities or road, notification of the County is not necessary.

CONDITIONS OF APPROVAL:

1. Applicant will need to revise Phase 1- Note 11 on Sheet 1 to read, "Tract LS-1 (Lift Station Tract) and the 5.00 foot wide utility easement (U.E) adjacent to Tract LS-1 is hereby dedicated to the City of Apopka. Tract LS-1 shall be maintained by the City of Apopka. The 5.00 U.E. shall be maintained by the Silver Oaks Homeowners Association, Inc."

PUBLIC HEARING SCHEDULE:

Planning Commission – October 11, 2016, 5:30 p.m.

City Council – October 19, 2016, 7:00 p.m.

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the SILVER OAK SUBDIVISION - PHASE 1 AND 2 PLATS, subject to the finding of this staff report and conditions.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Silver Oak Subdivision

50.83 +/- Acres

Proposed: 182 units

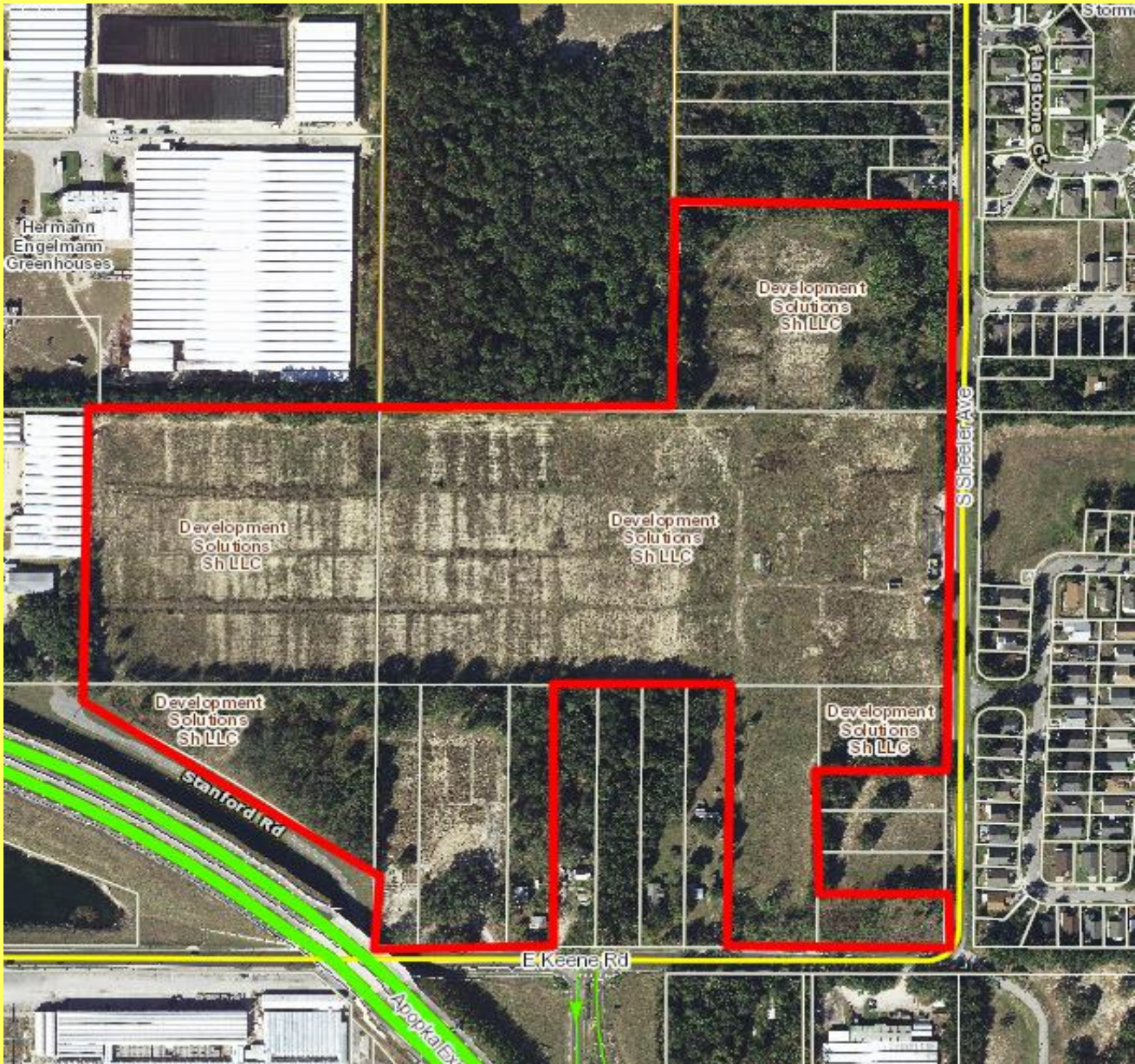
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22-21-28-0000-00-082, 22-21-28-0000-00-105, 22-21-28-0000-00-108,
22-21-28-0000-00-109, 22-21-28-0000-00-114, 22-21-28-0000-00-117
and 22-21-28-0000-00-122



VICINITY MAP



AERIAL MAP



SILVER OAK PHASE 1
SITUATED IN THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
CITY OF APOKA, ORANGE COUNTY, FLORIDA

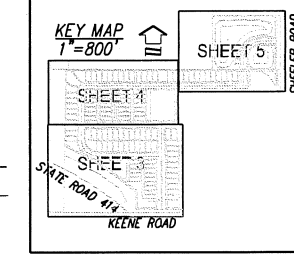
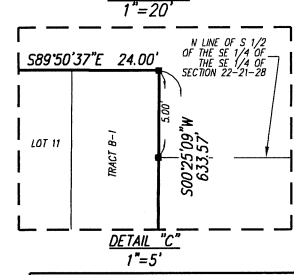
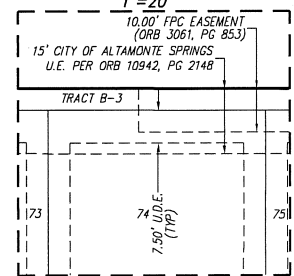
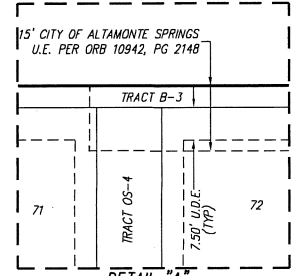
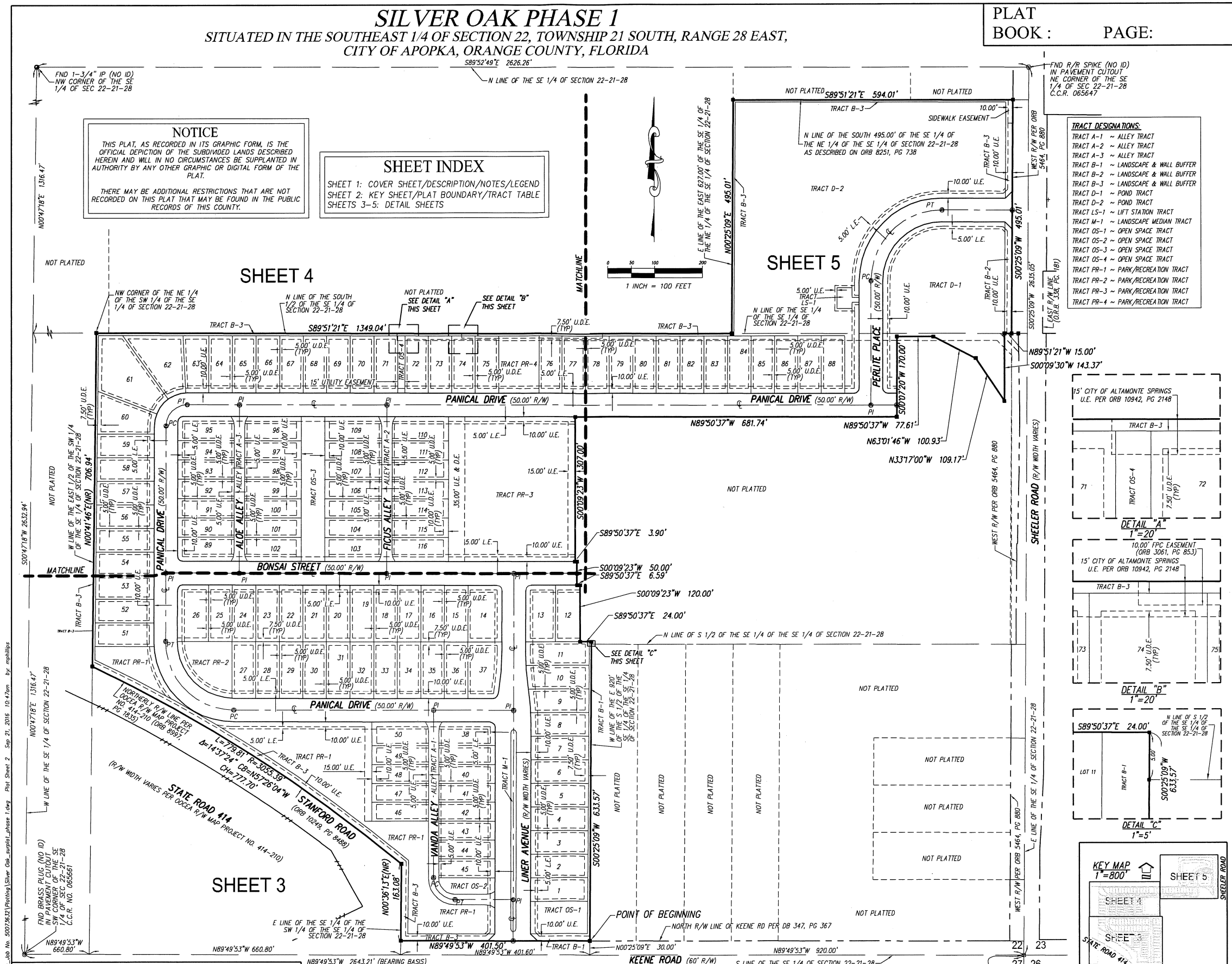
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NOTICE
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SHEET INDEX
SHEET 1: COVER SHEET/DESCRIPTION/NOTES/LEGEND
SHEET 2: KEY SHEET/PLAT BOUNDARY/TRACT TABLE
SHEETS 3-5: DETAIL SHEETS

- TRACT DESIGNATIONS:**
- TRACT A-1 ~ ALLEY TRACT
 - TRACT A-2 ~ ALLEY TRACT
 - TRACT A-3 ~ ALLEY TRACT
 - TRACT B-1 ~ LANDSCAPE & WALL BUFFER
 - TRACT B-2 ~ LANDSCAPE & WALL BUFFER
 - TRACT B-3 ~ LANDSCAPE & WALL BUFFER
 - TRACT D-1 ~ POND TRACT
 - TRACT D-2 ~ POND TRACT
 - TRACT LS-1 ~ LIFT STATION TRACT
 - TRACT M-1 ~ LANDSCAPE MEDIAN TRACT
 - TRACT OS-1 ~ OPEN SPACE TRACT
 - TRACT OS-2 ~ OPEN SPACE TRACT
 - TRACT OS-3 ~ OPEN SPACE TRACT
 - TRACT OS-4 ~ OPEN SPACE TRACT
 - TRACT PR-1 ~ PARK/RECREATION TRACT
 - TRACT PR-2 ~ PARK/RECREATION TRACT
 - TRACT PR-3 ~ PARK/RECREATION TRACT
 - TRACT PR-4 ~ PARK/RECREATION TRACT

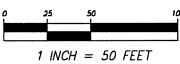
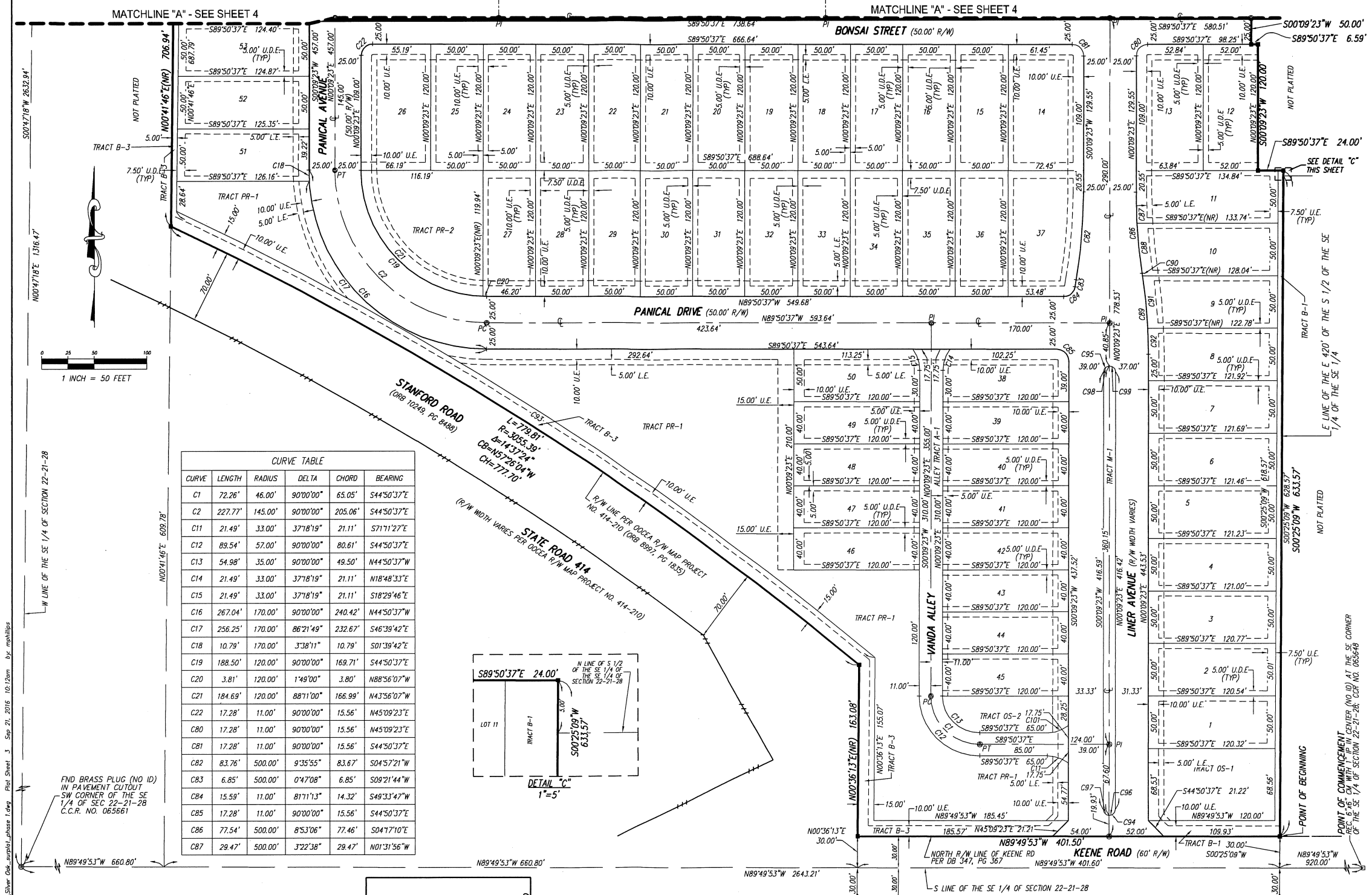


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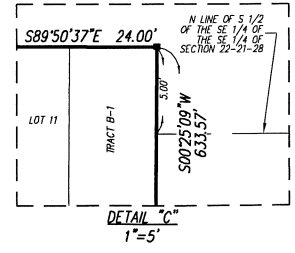
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SILVER OAK PHASE 1
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CITY OF APOKA, ORANGE COUNTY, FLORIDA

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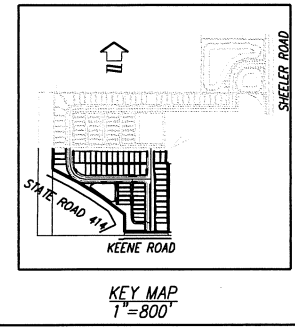
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	72.26'	46.00'	90°00'00"	65.05'	S44°50'37"E
C2	227.77'	145.00'	90°00'00"	205.06'	S44°50'37"E
C11	21.49'	33.00'	37°18'19"	21.11'	S71°11'27"E
C12	89.54'	57.00'	90°00'00"	80.61'	S44°50'37"E
C13	54.98'	35.00'	90°00'00"	49.50'	N44°50'37"W
C14	21.49'	33.00'	37°18'19"	21.11'	N18°48'33"E
C15	21.49'	33.00'	37°18'19"	21.11'	S18°29'46"E
C16	267.04'	170.00'	90°00'00"	240.42'	N44°50'37"W
C17	256.25'	170.00'	86°21'49"	232.67'	S46°39'42"E
C18	10.79'	170.00'	3°38'11"	10.79'	S01°39'42"E
C19	188.50'	120.00'	90°00'00"	169.71'	S44°50'37"E
C20	3.81'	120.00'	1°49'00"	3.80'	N88°56'07"W
C21	184.69'	120.00'	88°11'00"	166.99'	N43°56'07"W
C22	17.28'	11.00'	90°00'00"	15.56'	N45°09'23"E
C80	17.28'	11.00'	90°00'00"	15.56'	N45°09'23"E
C81	17.28'	11.00'	90°00'00"	15.56'	S44°50'37"E
C82	83.76'	500.00'	9°35'55"	83.67'	S04°57'21"W
C83	6.85'	500.00'	0°47'08"	6.85'	S09°21'44"W
C84	15.59'	11.00'	81°11'13"	14.32'	S49°33'47"W
C85	17.28'	11.00'	90°00'00"	15.56'	S44°50'37"E
C86	77.54'	500.00'	8°53'06"	77.46'	S04°17'10"E
C87	29.47'	500.00'	3°22'38"	29.47'	N01°31'56"W



SHEET INDEX

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CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C88	48.07'	500.00'	5°30'29"	48.05'	N05°58'29"W
C89	77.54'	500.00'	8°53'06"	77.46'	S04°17'10"E
C90	2.25'	500.00'	0°15'30"	2.25'	N08°35'59"W
C91	50.27'	500.00'	5°45'39"	50.25'	N05°35'24"W
C92	25.01'	500.00'	2°51'58"	25.01'	N01°16'36"W
C93	792.12'	3070.39'	14°46'53"	789.92'	N57°22'51"W

CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C94	17.80'	5.67'	179°59'20"	11.33'	S89°50'33"E
C95	17.64'	5.67'	178°13'09"	11.34'	N88°57'11"W
C96	8.90'	5.67'	89°59'36"	8.01'	N45°09'35"E
C97	8.90'	5.67'	89°59'45"	8.01'	S44°50'45"E
C98	8.73'	5.67'	88°14'53"	7.90'	S46°03'41"W
C99	8.90'	5.67'	89°58'16"	8.02'	N44°49'45"W
C101	21.49'	33.00'	37°18'19"	21.11'	N71°30'14"E

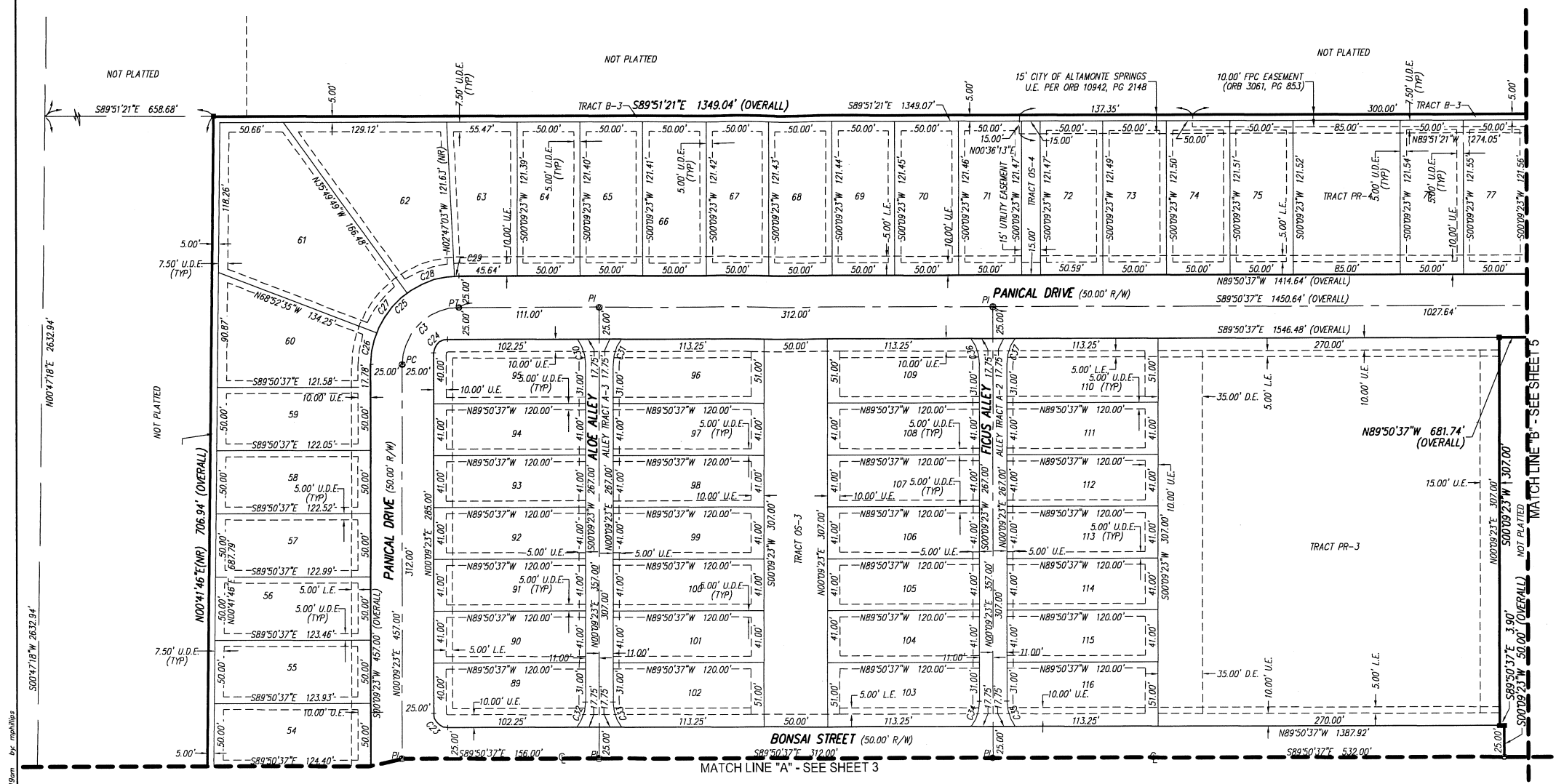
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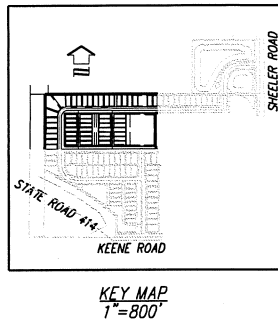
SILVER OAK PHASE 1
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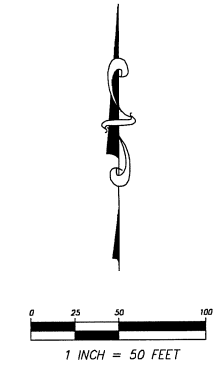


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SHEET INDEX
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CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C29	70.69'	45.00'	90°00'00"	63.64'	S45°09'23"W
C23	17.28'	11.00'	90°00'00"	15.56'	N44°50'37"W
C24	17.28'	11.00'	90°00'00"	15.56'	N45°09'23"E
C25	109.96'	70.00'	90°00'00"	98.99'	N45°09'23"E
C26	25.62'	70.00'	20°58'02"	25.47'	S10°38'24"W
C27	40.37'	70.00'	33°02'46"	39.82'	S37°38'48"W
C28	40.37'	70.00'	33°02'46"	39.82'	S70°41'34"W
C29	3.59'	70.00'	2°56'26"	3.59'	S88°41'10"W
C30	21.49'	33.00'	37°18'19"	21.11'	S18°29'46"E
C31	21.49'	33.00'	37°18'19"	21.11'	N18°48'33"E
C32	21.49'	33.00'	37°18'19"	21.11'	S18°48'33"W
C33	21.49'	33.00'	37°18'19"	21.11'	N18°29'46"W
C34	21.49'	33.00'	37°18'19"	21.11'	S18°48'33"W
C35	21.49'	33.00'	37°18'19"	21.11'	N18°29'46"W
C36	21.49'	33.00'	37°18'19"	21.11'	S18°29'46"E
C37	21.49'	33.00'	37°18'19"	21.11'	N18°48'33"E

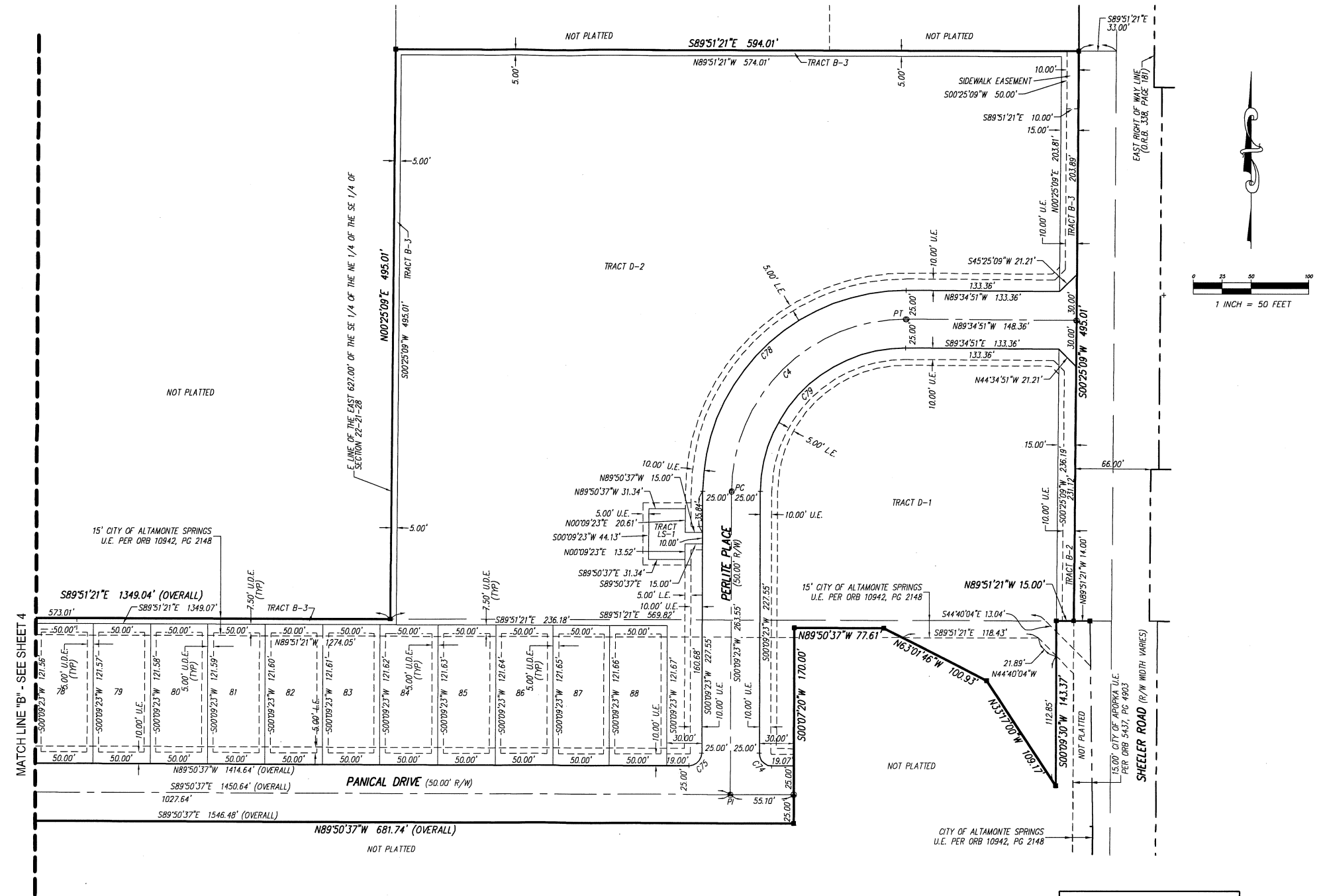


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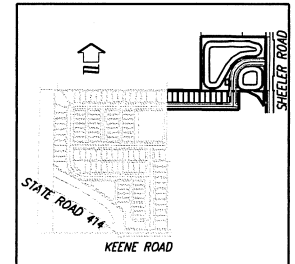
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CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
C4	236.31'	150.00'	90°15'46"	212.62' S45°17'16"W
C74	17.28'	11.00'	90°00'00"	15.56' S44°50'37"E
C75	17.28'	11.00'	90°00'00"	15.56' S45°09'23"W
C78	275.69'	175.00'	90°15'46"	248.05' S45°17'16"W
C79	196.92'	125.00'	90°15'46"	177.18' N45°17'16"E



KEY MAP
1"=800'

Drawing name: S:\Silver Oak\312\Plotting\Silver Oak\summary_phase 1.dwg Plot Sheet 5 Sep 21, 2016 10:15am by: mphilips

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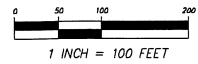
SILVER OAK PHASE 2

SITUATED IN SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOKA, ORANGE COUNTY, FLORIDA

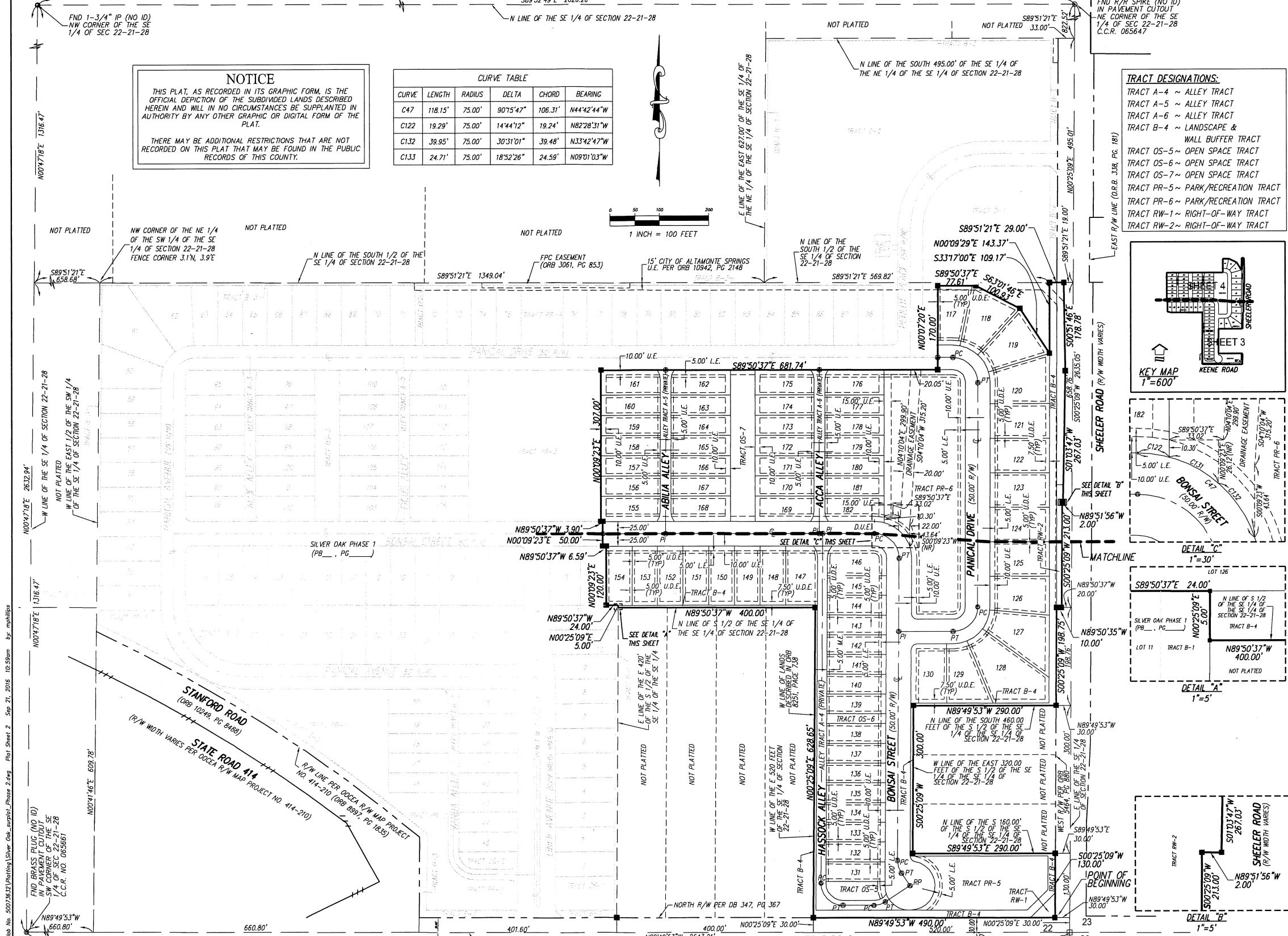
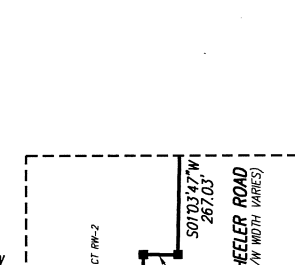
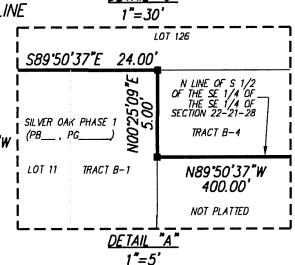
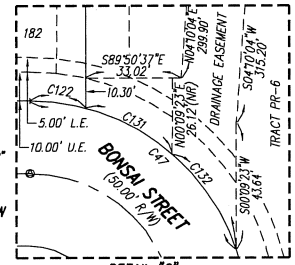
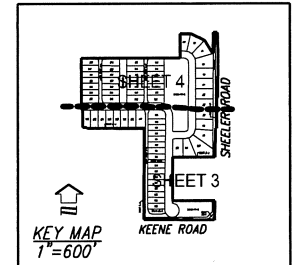
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CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C47	118.15'	75.00'	90°5'47"	106.31'	N44°42'44"W
C122	19.29'	75.00'	14°44'12"	19.24'	N82°28'31"W
C132	39.95'	75.00'	30°31'01"	39.48'	N33°42'47"W
C133	24.71'	75.00'	18°32'26"	24.59'	N09°01'03"W



- TRACT DESIGNATIONS:**
- TRACT A-4 ~ ALLEY TRACT
 - TRACT A-5 ~ ALLEY TRACT
 - TRACT A-6 ~ ALLEY TRACT
 - TRACT B-4 ~ LANDSCAPE & WALL BUFFER TRACT
 - TRACT OS-5 ~ OPEN SPACE TRACT
 - TRACT OS-6 ~ OPEN SPACE TRACT
 - TRACT OS-7 ~ OPEN SPACE TRACT
 - TRACT PR-5 ~ PARK/RECREATION TRACT
 - TRACT PR-6 ~ PARK/RECREATION TRACT
 - TRACT RW-1 ~ RIGHT-OF-WAY TRACT
 - TRACT RW-2 ~ RIGHT-OF-WAY TRACT



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SHEET INDEX

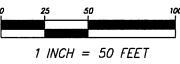
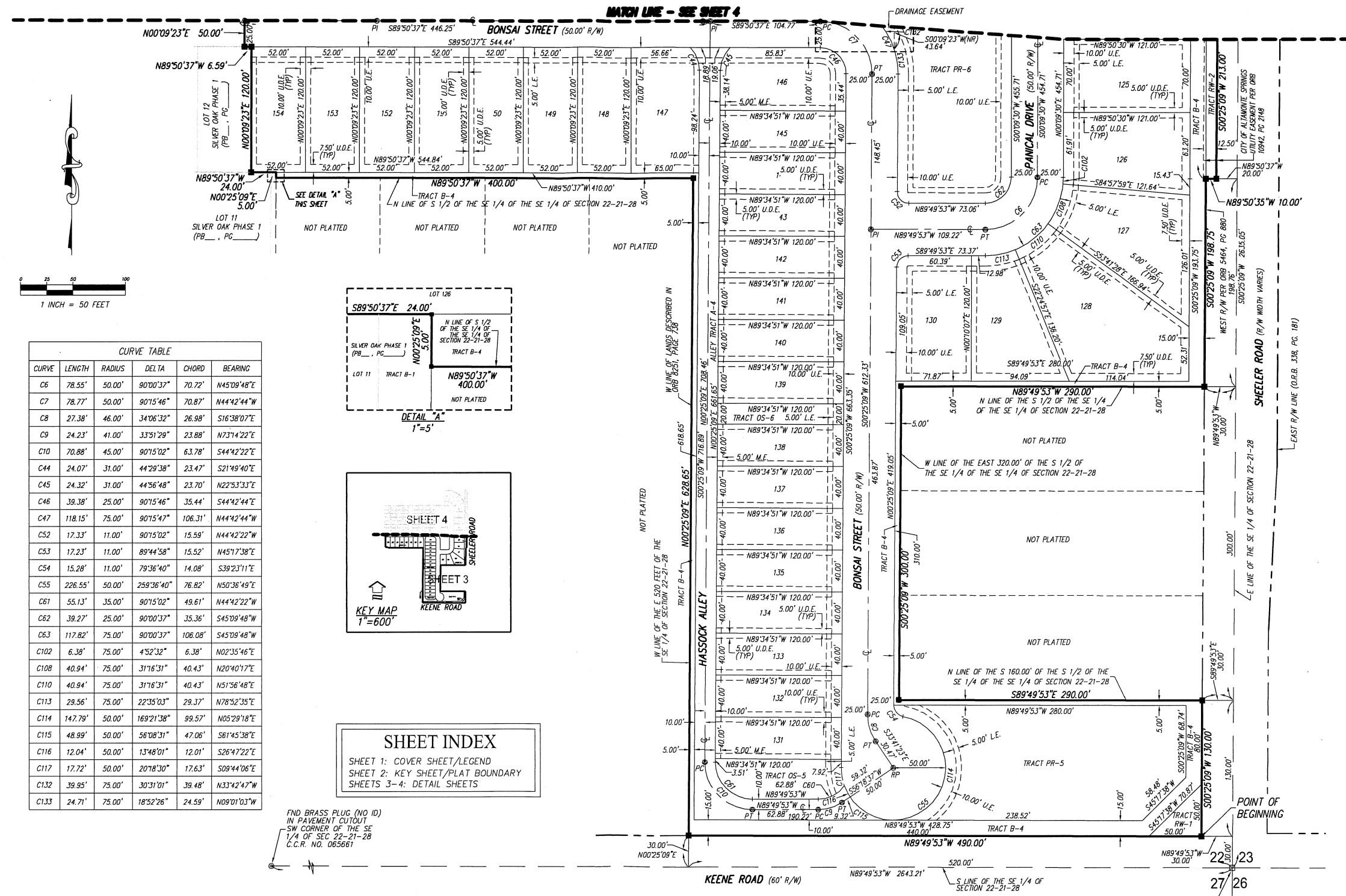
SHEET 1: COVER SHEET/LEGEND
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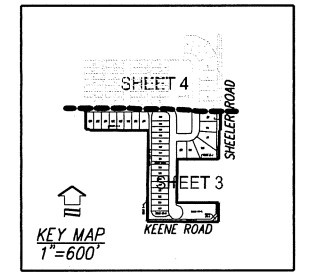
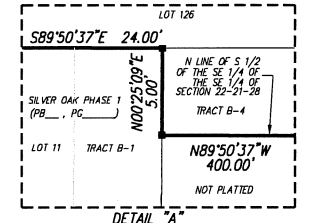
SILVER OAK PHASE 2

SITUATED IN SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOKA, ORANGE COUNTY, FLORIDA

PLAT BOOK: PAGE:



CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C6	78.55'	50.00'	90°00'37"	70.72'	N45°09'48"E
C7	78.77'	50.00'	90°15'46"	70.87'	N44°42'44"W
C8	27.38'	46.00'	34°06'32"	26.98'	S16°38'07"E
C9	24.23'	41.00'	33°51'29"	23.88'	N73°14'22"E
C10	70.88'	45.00'	90°15'02"	63.78'	S44°42'22"E
C44	24.07'	31.00'	44°29'38"	23.47'	S21°49'40"E
C45	24.32'	31.00'	44°56'48"	23.70'	N22°53'33"E
C46	39.38'	25.00'	90°15'46"	35.44'	S44°42'44"E
C47	118.15'	75.00'	90°15'47"	106.31'	N44°42'44"W
C52	17.33'	11.00'	90°15'02"	15.59'	N44°42'22"W
C53	17.23'	11.00'	89°44'58"	15.52'	N45°17'38"E
C54	15.28'	11.00'	79°36'40"	14.08'	S39°23'11"E
C55	226.55'	50.00'	259°36'40"	76.82'	N50°36'49"E
C61	55.13'	35.00'	90°15'02"	49.61'	N44°42'22"W
C62	39.27'	25.00'	90°00'37"	35.36'	S45°09'48"W
C63	117.82'	75.00'	90°00'37"	106.08'	S45°09'48"W
C102	6.38'	75.00'	4°52'32"	6.38'	N02°35'46"E
C108	40.94'	75.00'	31°16'31"	40.43'	N20°40'17"E
C110	40.94'	75.00'	31°16'31"	40.43'	N51°56'48"E
C113	29.56'	75.00'	22°35'03"	29.37'	N78°52'35"E
C114	147.79'	50.00'	169°21'38"	99.57'	N05°29'18"E
C115	48.99'	50.00'	56°08'31"	47.06'	S61°45'38"E
C116	12.04'	50.00'	13°48'01"	12.01'	S26°47'22"E
C117	17.72'	50.00'	20°18'30"	17.63'	S09°44'06"E
C132	39.95'	75.00'	30°31'01"	39.48'	N33°42'47"W
C133	24.71'	75.00'	18°52'26"	24.59'	N09°01'03"W



SHEET INDEX	
SHEET 1:	COVER SHEET/LEGEND
SHEET 2:	KEY SHEET/PLAT BOUNDARY
SHEETS 3-4:	DETAIL SHEETS

FIND BRASS PLUG (NO. ID) IN PAVEMENT CUTOUT SW CORNER OF THE SE 1/4 OF SEC 22-21-28 C.C.R. NO. 065661

NOTICE
 THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.
 THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

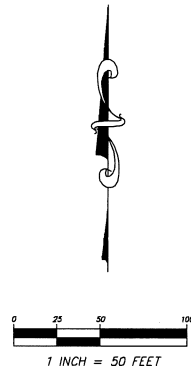
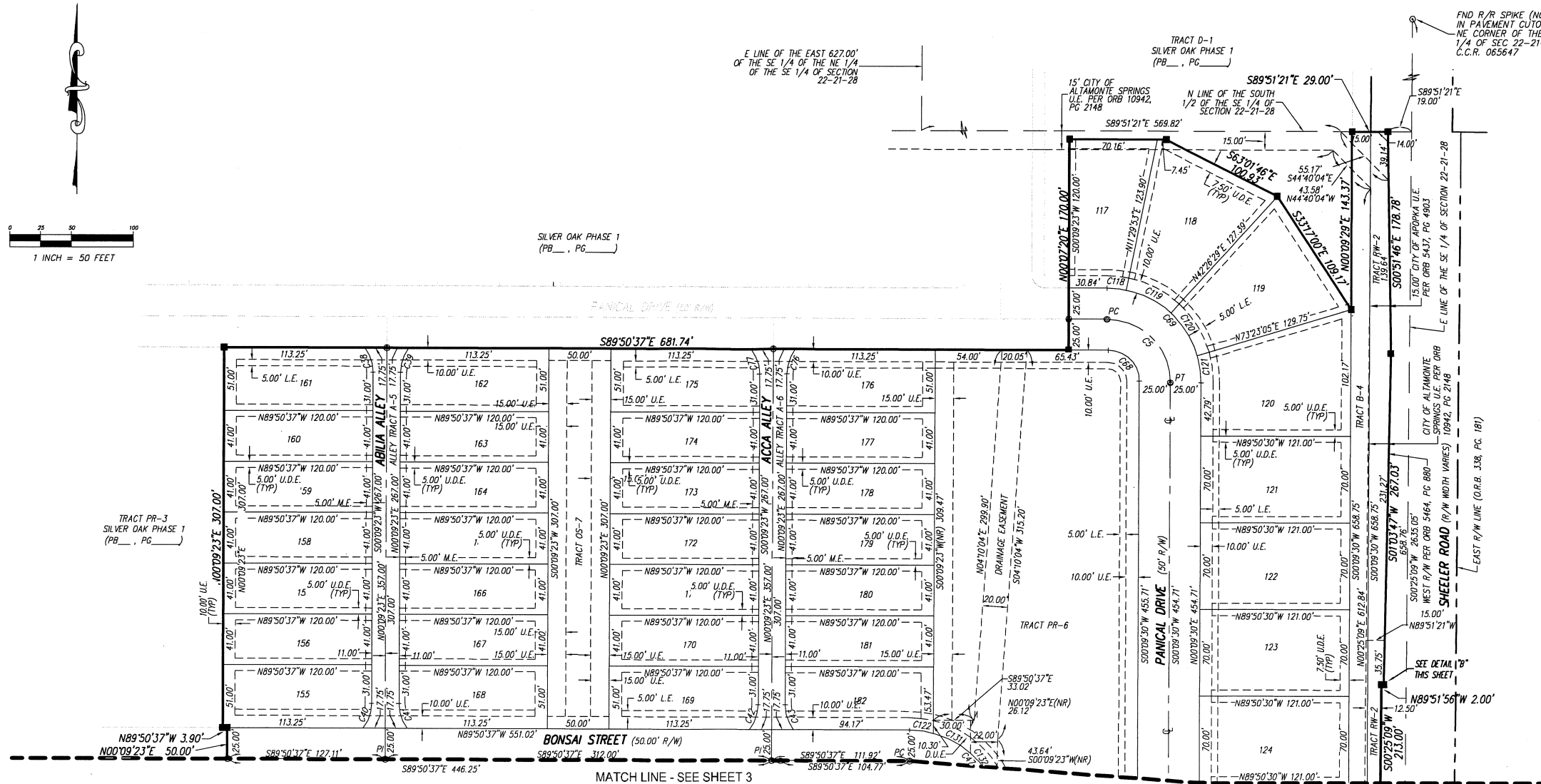
Drawing name: S:\Silver Oak\Job No. 50072612\Platting\Silver Oak_surplat_Silver Oak_Phase 2.dwg Plat Sheet 3 Sep 21, 2016 11:00am b.r. mphilips

Dewberry
 131 WEST KALEY STREET
 ORLANDO, FLORIDA 32806
 PHONE: 321.354.9826 FAX: 407.648.9104
 WWW.DEWBERRY.COM
 CERTIFICATE OF AUTHORIZATION NO. LB 8011

SILVER OAK PHASE 2

SITUATED IN SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

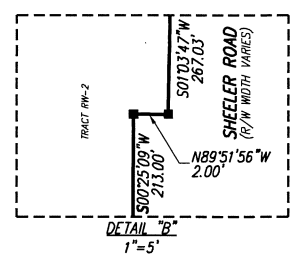
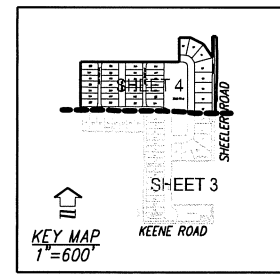
PLAT BOOK: PAGE:



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C5	80.11'	51.00'	90°00'07"	72.13'	N44°50'34"W
C38	21.49'	33.00'	37°18'19"	21.11'	N18°29'46"W
C39	21.49'	33.00'	37°18'19"	21.11'	S18°48'33"W
C40	21.49'	33.00'	37°18'19"	21.11'	N18°48'33"E
C41	21.49'	33.00'	37°18'19"	21.11'	S18°29'46"E
C42	21.49'	33.00'	37°18'19"	21.11'	N18°48'33"E
C43	21.49'	33.00'	37°18'19"	21.11'	S18°29'46"E
C47	118.15'	75.00'	90°15'47"	106.31'	N44°42'44"W
C68	39.27'	25.00'	90°00'07"	35.36'	N44°50'34"W
C69	119.38'	76.00'	90°00'07"	107.48'	N44°50'34"W
C76	21.49'	33.00'	37°18'19"	21.11'	S18°48'33"E
C77	21.49'	33.00'	37°18'19"	21.11'	N18°29'46"W
C118	15.04'	76.00'	11°20'30"	15.02'	N84°10'22"W
C119	41.04'	76.00'	30°56'36"	40.55'	N63°01'49"W
C120	41.04'	76.00'	30°56'36"	40.55'	N32°05'13"W
C121	22.25'	76.00'	16°46'25"	22.17'	N08°13'43"W
C122	19.29'	75.00'	14°44'12"	19.24'	N82°28'31"W
C131	34.21'	75.00'	26°08'09"	33.92'	N62°02'21"W
C132	39.95'	75.00'	30°31'01"	39.48'	N33°42'47"W

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Drawing name: S:\Silver Oak Job No. 50072612 (Planning)\Silver Oak_Serial_Phase 2.dwg Plat Sheet 4 Sep 21, 2016 11:01am by mphilips

Dewberry
 131 WEST KALEY STREET
 ORLANDO, FLORIDA 32806
 PHONE: 321.354.9826 FAX: 407.648.9104
 WWW.DEWBERRY.COM
 CERTIFICATE OF AUTHORIZATION NO. LB 8011

Backup material for agenda item:

2. PRELIMINARY DEVELOPMENT PLAN – TRACTOR SUPPLY – Owned by Michael L. Hart, Margie A. Hart and Apopka Regional Properties, LLP, property located at 180 East 1st Street. (Parcel ID #s: 09-21-28-0196-10-040, 09-21-28-0196-10-064 and 09-21-28-0196-10-122)



**CITY OF APOPKA
PLANNING COMMISSION**

PUBLIC HEARING
 ANNEXATION
 PLAT APPROVAL
 OTHER: Preliminary Development Plan

MEETING OF: October 11, 2016
FROM: Community Development
EXHIBITS: Vicinity/Aerial Map
Site/Landscape Plans
Color Rendering
Building Elevations
Parking Study
Photometric Plan

PROJECT: TRACTOR SUPPLY- APOPKA – PRELIMINARY DEVELOPMENT PLAN

Request: RECOMMEND APPROVAL OF THE TRACTOR SUPPLY – APOPKA - PRELIMINARY DEVELOPMENT PLAN AND PARKING WAIVERS SUBJECT TO CONDITIONS

SUMMARY:

OWNER: Michael L. Hart, Margie A. Hart and Apopka Regional Properties, LLP.

ENGINEER: Hanlex Civil, LLC. c/o Nathan Bullard, MBA P.E.

ARCHITECT: Rabits and Romano Architecture

LOCATION: 180 West 1st Street
(South of 1st Street and East of Washington Avenue)

PARCEL ID #: 09-21-28-0196-10-040, 09-21-28-0196-10-064 and 09-21-28-0196-10-122

LAND USE: Commercial

ZONING: C-2

EXISTING USE: Horticultural Nursery

PROPOSED USE: Retail Center

TRACT SIZE: 3.09 +/- Acres (S.F.)

BUILDING SIZE: 19,027 S.F. and 18,000 Outdoor Display Area

BUILDING HEIGHT: 30 Feet

FLOOR AREA RATIO: 0.14

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Public Ser. Director
City Clerk
Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (City)	Commercial	PO/I	Office Building and Residential Duplex
East (City)	Office	PO/I	SFR (4)
South (City)	Commercial	C-2	Gas Station and Automotive Repair
West (City)	Commercial	C-2	Retail and Warehouse Buildings

ADDITIONAL COMMENTS: The Tractor Supply- Apopka - Preliminary Development Plan proposes 19,027 square feet of commercial retail space with an 18,000 square feet outdoor display area. The 3.9 acres site is located south of West 1st Street and East of Washington Ave.

PARKING: A total of 89 parking spaces are being proposed (133 required by code) of which three (3) are reserved as handicapped parking spaces. In accordance with LDC 6.03.02, the number of proposed parking spaces are 24 less the required amount. The applicant is requesting a waiver to adjust the parking requirements in accordance with LDC 6.03.01.H. Traffic & Mobility Consultants (TMC) has prepared a parking analysis in response to the applicant’s parking waiver request.

EXTERIOR ELEVATIONS: The design of the building exterior meets the intent of the City’s Development Design Guidelines.

STORMWATER: Stormwater run-off and drainage will be accommodated by an on-site retention pond. The on-site stormwater management system shall be designed to meet standards set forth in the Land Development Code prior to Final Development Plan approval.

BUFFER/TREE PROGRAM: A minimum ten foot landscape buffer is provided along 1st, Washington Ave and 2nd Street. The applicant has provided a detailed landscape and irrigation plan for the property. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	606
Total number of specimen trees:	8
Total specimen removed:	5
Total specimen inches retained:	130
Total specimen inches removed:	150
Total non-specimen inches removed:	274
Total non-specimen inches retained:	52
Total inches replaced:	243.5
Total inches post development:	485.5

TREE PROGRAM: The City’s Land Development Code and Tree Bank policy permit the applicant to make a contribution to the City’s Tree Bank to mitigate the remaining deficient tree inches at \$10.00 per inch. The total amount required to be paid into the Tree Bank will be (\$1700) dollars.

SIGNS: The applicant has submitted a variance application requesting to install a monument sign at the southwest corner of the site and to increase the height. The variance requests are handled through a separate application and stand along separate from the Preliminary Development Plan. Should the variance fail, the applicant must modify the Preliminary Development Plan to comply with the Land Development Code. The proposed sign locations shown on the site plan are subject to Planning Commission approval.

CONDITIONS OF APPROVAL:

1. Applicant will need to provide our Public Service Department with an on-site stormwater management plan consistent with the Land Development Code prior to Final Development Plan being reviewed by City Council.

PUBLIC HEARING SCHEDULE:

October 11, 2016 - Planning Commission (5:30 pm)

November 2, 2016 - City Council (1:30 pm)

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the – TRACTOR SUPPLY-APOPKA-Preliminary Development Plan, subject to the findings of this staff report and conditions of approval.

Recommended Motion: Approval of the TRACTOR SUPPLY – APOPKA - Preliminary Development Plan, subject to the findings of this staff report and conditions of approval.

Planning Commission Role: The role of the Planning Commission for this application and parking waiver request is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

Note: **This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.**

Application: Preliminary Development Plan
Owner: Michael L. Hart, Margie A. Hart and Apopka Regional Properties, LLP.
Applicant: Hanlex First Street, LLC
Engineer: Hanlex Civil, LLC. c/o Nathan Bullard, MBA P.E.
Architect: Rabits and Romano Architecture
Parcel I.D. No's: 09-21-28-0196-10-040, 09-21-28-0196-10-064 and 09-21-28-0196-10-122
Location: 180 East 1st Street
Total Acres: 3.90 +/- Acres



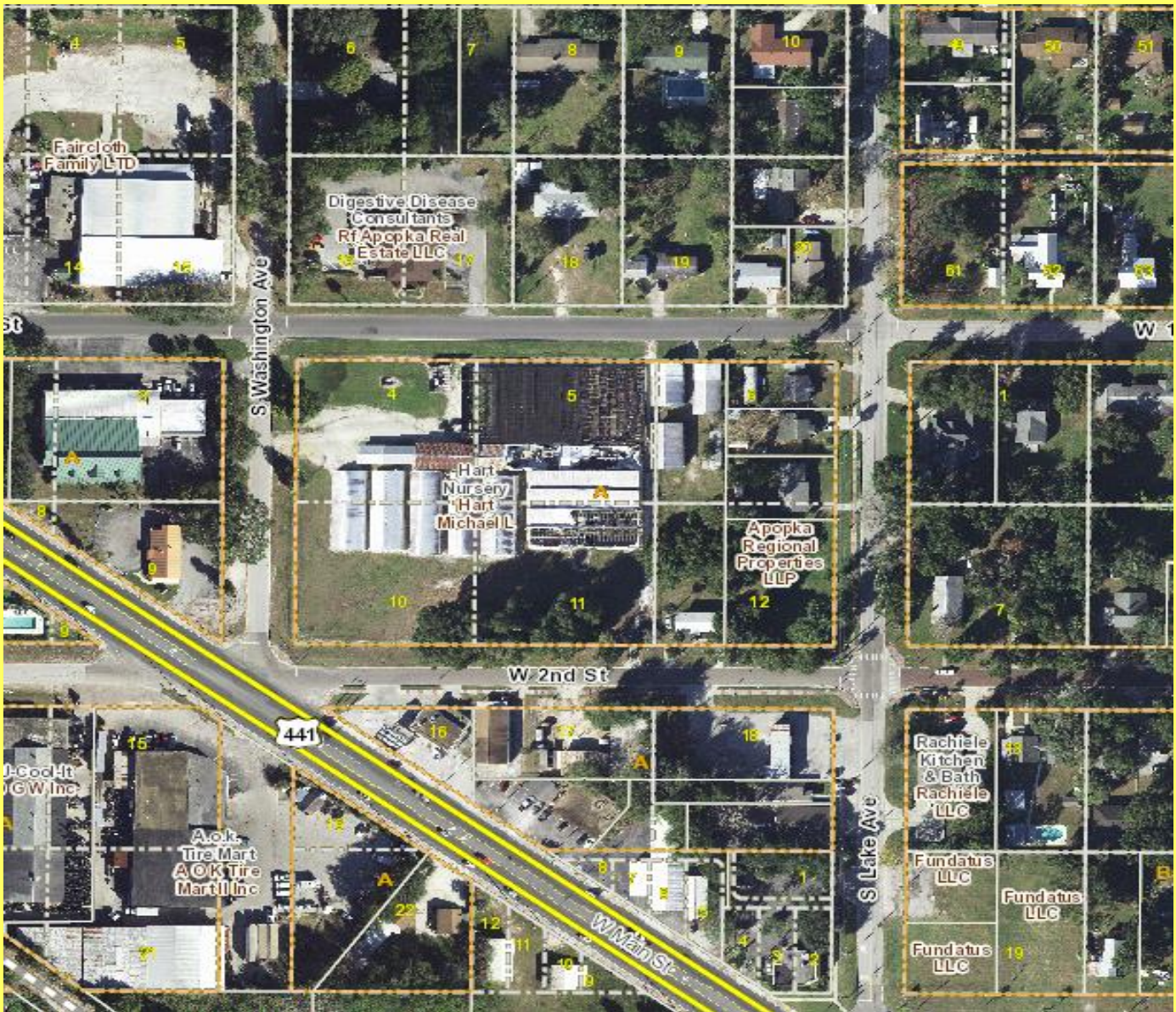
VICINITY MAP



Application: Preliminary Development Plan
Owner: Michael L. Hart, Margie A. Hart and Apopka Regional Properties, LLP.
Applicant: Hanlex First Street, LLC
Engineer: Hanlex Civil, LLC. c/o Nathan Bullard, MBA P.E.
Architect: Rabits and Romano Architecture
Parcel I.D. No's: 09-21-28-0196-10-040, 09-21-28-0196-10-064 and 09-21-28-0196-10-122
Location: 180 East 1st Street
Total Acres: 3.90 +/- Acres



AERIAL MAP



PROJECT DIRECTORY

DEVELOPER: HANLEX FIRST STREET, LLC
1000 COLOR PLACE
APOPKA, FL 32703
PHONE: (407) 889-9400
FAX: (407) 889-8328

CIVIL ENGINEER: HANLEX CIVIL, LLC
1000 COLOR PLACE
APOPKA, FL 32703
PHONE: (407) 889-9400
FAX: (407) 889-8328

GEOTECH ENGINEER: PROFESSIONAL SERVICE INDUSTRIES, INC.
1748 33RD STREET
ORLANDO, FL 32839
PHONE: (407) 304-5560
FAX: (407) 304-5561

SURVEYOR: L & S DIVERSIFIED
405 LAKE HOWELL ROAD SUITE 1001
MAITLAND, FLORIDA, 32751
PHONE: (407) 681-6541

ARCHITECT: RABITS & ROMANO ARCHITECTURE
5127 S. ORANGE AVENUE SUITE 10
ORLANDO, FLORIDA 32809
PHONE: (407) 490-0350
FAX: (407) 232-6000

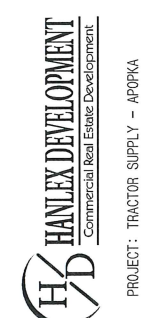
PRELIMINARY DEVELOPMENT PLAN

TRACTOR SUPPLY COMPANY AT APOPKA
180 W. 1st STREET
APOPKA, FL 32703

PARCEL # 09-21-28-0196-10-040,
09-21-28-0196-10-064, & 09-21-28-0196-10-122

PLAN SHEET INDEX

CO.0	COVER SHEET
	SURVEY
	ARCHITECTURAL ELEVATIONS
	ARCHITECTURAL FLOOR PLAN
C1.0	GEOMETRY PLAN
C1.1	TRUCK MOVEMENT
C2.0	DRAINAGE PLAN
C3.0	UTILITY PLAN
CP1.0	PHOTOMETRIC PLAN
L1.0	LANDSCAPE PLAN
L2.0	IRRIGATION PLAN
L3.0	TREE DEMOLITION PLAN

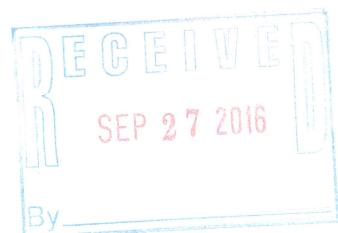


BY:	FE	FB
REVISION/ISSUE:	CITY OF APOPKA COMMENTS	CITY OF APOPKA 2ND DRC COMMENTS
DATE:	08-04-16	09-02-16
NO:	1	2

ENGINEER'S NAME & FE#

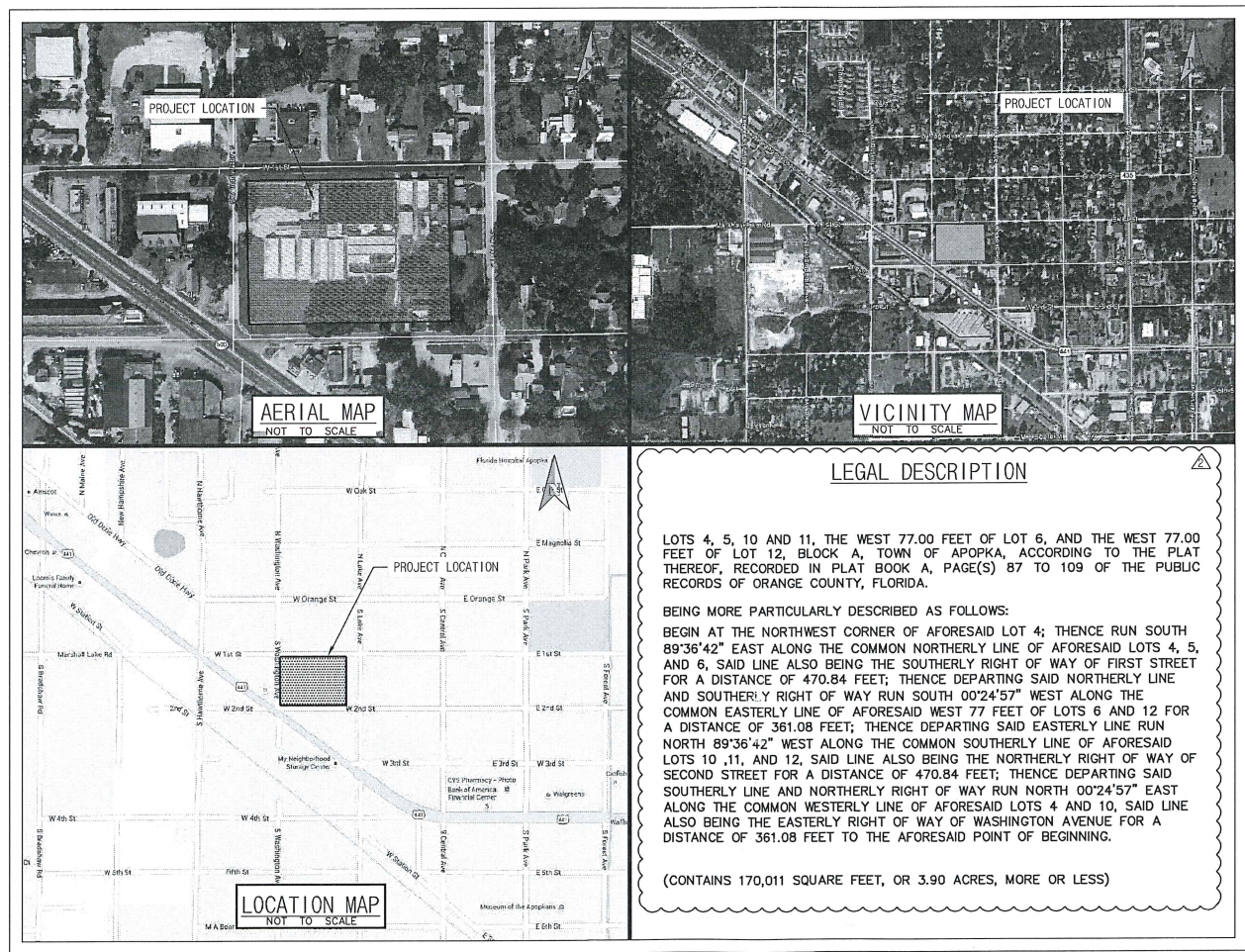
JASON D. BULLARD, P.E.
P.E. LICENSE NO. 73900

PROJECT # 215_016
DATE 02/18/2016
SCALE NTS
SHEET CO.0
1
COVER SHEET



GENERAL REVISION LOG

NO:	DATE:	REVISION/ISSUE:	SHEETS REVISED:	BY:
1	08-04-16	CITY OF APOPKA COMMENTS	C1.0, C2.0, C3.0	FB
2	09-02-16	CITY OF APOPKA 2ND DRC COMMENTS	C1.0, C2.0, C3.0	FB
3	09-22-16	CITY OF APOPKA 3RD DRC COMMENTS	C1.0, C2.0, C3.0	FB
4				
5				
6				
7				
8				



LEGEND:

- # : NO. OF PARKING SPACES
- # / CX.X : DETAIL NO. / SHEET
- [Symbol] : HEAVY DUTY ASPHALT PAVEMENT
- [Symbol] : PROPOSED CONCRETE SURFACE
- W : WATER LINE
- UGE : ELECTRIC LINE
- SS : WASTEWATER LINE
- UGT : TELEPHONE LINE
- [Symbol] : FIRE HYDRANT
- [Symbol] : VALVE
- [Symbol] : WATER METER
- [Symbol] : BACKFLOW PREVENTER WITH CONCRETE PAD
- 75.40 : SPOT ELEVATION (TO TOP OF PAVEMENT UNLESS SPECIFIED OTHERWISE)
- [Symbol] : FLOW ARROW
- # : REVISION NUMBER
- [Symbol] : FIRE DEPARTMENT CONNECTION

UTILITY PROVIDERS

POWER: DUKE ENERGY
452 E CROWN POINTE ROAD
WINTER GARDEN, FL 33787
CONTACT: SHARON DEAR
P: (407) 905-3321

WATER: CITY OF APOPKA
748 E CLEVELAND STREET
APOPKA, FL 32703
CONTACT: BRIAN BISHOP
P: (407) 703-1685

SEWER: CITY OF APOPKA
748 E CLEVELAND STREET
APOPKA, FL 32703
CONTACT: BRIAN BISHOP
P: (407) 703-1685

TELEPHONE: CENTURY LINK
33 N. MAIN STREET ROOM 144
WINTER GARDEN, FL 34787
P: (407) 814-5293

CABLE TELEVISION: BRIGHT HOUSE NETWORKS
3767 ALL AMERICAN BLVD
ORLANDO, FL 32810
CONTACT: MARVIN USRY
P: (407) 532-8509

GAS: LAKE APOPKA NATURAL GAS DISTRICT
1320 WINTER GARDEN - VINELAND RD
WINTER GARDEN, FL 34778
CONTACT: ALEX WOSGIEN
P: (407) 656-2734

VARIANCE (V) / WAIVER (W) TABLE

CODE #	CODE REQUIREMENT	(V/W)	REQUEST	JUSTIFICATION
8.08.03	50' SIGN SETBACK	V	ALLOWING SIGN WITHIN THE 50' SIGN SETBACK	SIGHT VISIBILITY FROM ROW
8.04.02.D	SIX FEET MAXIMUM SIGN HEIGHT	V	TEN FOOT SIGN HEIGHT FOR SIGN AT CORNER	SIGHT VISIBILITY FROM ROW
6.03.02	NUMBER OF PARKING STALLS	W	REDUCTION IN PARKING STALLS	EXCEEDS REQUIRED STALLS FOR TRACTOR SUPPLY (SEE SUBMITTED TRAFFIC STUDY)

ZONING, PARKING REQUIREMENTS, & BUILDING SETBACK INFORMATION

THE SUBJECT PROPERTY IS ZONED, APOPKA C-2, GENERAL COMMERCIAL DISTRICT
 SITE AREA REQUIREMENTS: MINIMUM SITE AREA SHALL BE 10,000 SQUARE FEET.
 LOT WIDTH: MINIMUM LOT WIDTH SHALL BE 100 FEET.

YARD REQUIREMENTS:

FRONT YARD. THERE SHALL BE A MINIMUM SETBACK OF 50 FEET FROM THE CENTERLINE OF THE STREET RIGHT-OF-WAY OR MINIMUM TEN FROM THE PROPERTY LINE, WHICHEVER IS GREATER.

SIDE YARD. THERE SHALL BE A MINIMUM OF TEN FEET FROM PROPERTY LINE EXCEPT WHERE SIDE LOTS ABUT A RESIDENTIAL DISTRICT OR USE, THEN ALL STRUCTURES SHALL BE SETBACK A MINIMUM OF 30 FEET. ALL YARDS ADJACENT TO ROAD RIGHT-OF-WAYS SHALL BE A MINIMUM OF 15 FEET.

REAR YARD. SETBACK SHALL BE A MINIMUM OF TEN FEET, EXCEPT WHERE REAR LOT LINES ABUT A RESIDENTIAL DISTRICT OR USE, THEN ALL STRUCTURES SHALL BE SET BACK A MINIMUM OF 30 FEET.

OPEN STORAGE AREAS SHALL BE SET BACK A MINIMUM OF 15 FEET EXCEPT WHEN ADJACENT TO RESIDENTIAL USES OR DISTRICTS, THEN THEY SHALL BE SET BACK A MINIMUM OF 50 FEET.

FLOOD ZONE NOTE

THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X", AREA DETERMINED TO BE OUTSIDE THE ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, PANEL 120 OF 750, MAP NUMBER 12095C0120F, LAST REVISED ON SEPTEMBER 25, 2009.

LEGAL DESCRIPTION - TRACTOR SUPPLY COMPANY BOUNDARY

LOTS 4, 5, 10 AND 11, THE WEST 77.00 FEET OF LOT 6, AND THE WEST 77.00 FEET OF LOT 12, BLOCK A, TOWN OF APOPKA, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK A, PAGE(S) 87 TO 109 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING AT THE NORTHWEST CORNER OF AFORESAID LOT 4; THENCE RUN SOUTH 89°36'42" EAST ALONG THE COMMON NORTHERLY LINE OF AFORESAID LOTS 4, 5, AND 6, SAID LINE ALSO BEING THE SOUTHERLY RIGHT OF WAY OF FIRST STREET FOR A DISTANCE OF 470.84 FEET; THENCE DEPARTING SAID NORTHERLY LINE AND SOUTHERLY RIGHT OF WAY RUN SOUTH 00°24'57" WEST ALONG THE COMMON EASTERLY LINE OF AFORESAID WEST 77 FEET OF LOTS 6 AND 12 FOR A DISTANCE OF 361.08 FEET; THENCE DEPARTING SAID EASTERLY LINE RUN NORTH 89°36'42" WEST ALONG THE COMMON SOUTHERLY LINE OF AFORESAID LOTS 10, 11, AND 12; SAID LINE ALSO BEING THE NORTHERLY RIGHT OF WAY OF SECOND STREET FOR A DISTANCE OF 470.84 FEET; THENCE DEPARTING SAID SOUTHERLY LINE AND NORTHERLY RIGHT OF WAY RUN NORTH 00°24'57" EAST ALONG THE COMMON WESTERLY LINE OF AFORESAID LOTS 4 AND 10, SAID LINE ALSO BEING THE EASTERLY RIGHT OF WAY OF WASHINGTON AVENUE FOR A DISTANCE OF 361.08 FEET TO THE AFORESAID POINT OF BEGINNING.

(CONTAINS 170,011 SQUARE FEET, OR 3.90 ACRES, MORE OR LESS)

TITLE & SCHEDULE BII EXCEPTIONS - PERTAINING TO PART 1

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE COMMITMENT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER 66857-57, EFFECTIVE JUNE 12, 2015 AT 8:00 A.M. EASEMENTS AND RESTRICTIONS LISTED IN SCHEDULE BII (EXCEPTIONS) ARE AS FOLLOWS:

RESTRICTIONS, DEDICATIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS SHOWN ON THE PLAT OF TOWN OF APOPKA AS RECORDED IN PLAT BOOK A, PAGE(S) 87 TO 109, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). (SHOWN HEREON)

DECLARATION OF RESTRICTIVE COVENANTS RECORDED IN BOOK 9959, PAGE 2599, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). (SHOWN HEREON)

TITLE & SCHEDULE BII EXCEPTIONS - PERTAINING TO PART 2

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE COMMITMENT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBER 6757-9, EFFECTIVE JULY 16, 2016 AT 5:00 P.M. EASEMENTS AND RESTRICTIONS LISTED IN SCHEDULE BII (EXCEPTIONS) ARE AS FOLLOWS:

MATTERS SET FORTH ON THE PLAT OF THE TOWN OF APOPKA RECORDED IN PLAT BOOK A, PAGE 109, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. (SHOWN HEREON)

SURVEYOR'S NOTES

1. THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DESCRIBED BY MINIMUM TECHNICAL STANDARDS FOR SURVEYING AND MAPPING, CHAPTER 5J-17, FLORIDA.
2. ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
3. BEARINGS SHOWN HEREON ARE BASED ON RTK GPS OBSERVATIONS, DERIVING A BEARING OF 589°36'42"E ON THE SOUTHERLY RIGHT-OF-WAY LINE OF FIRST STREET.
4. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) AS ESTABLISHED FROM ORANGE COUNTY, FLORIDA BENCHMARK DESIGNATED AS "L 651 025" BEING A 2" BRASS DISK AND HAVING A PUBLISHED ELEVATION OF 149.09 FEET.
5. THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
6. THIS SURVEY MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=30' OR SMALLER.
7. THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
8. FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF WALLS AND FENCES.
9. THIS FIRM IDENTIFIED VARIOUS TYPES OF TREES LOCATED ON THIS SITE BASED ON COMMON KNOWLEDGE OF TREE SPECIES. A QUALIFIED LANDSCAPE ARCHITECT SHOULD BE EMPLOYED FOR POSITIVE IDENTIFICATION OF TREE SPECIES. TREE DIAMETERS ARE APPROXIMATE AND WERE MEASURED AT BREAST HEIGHT. ONLY TREES 3" CALIPER INCHES OR LARGER WERE LOCATED AND SHOWN ON THE SURVEY. HEDGES AND GROUND COVER WERE NOT LOCATED AND ARE NOT SHOWN.
10. THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS AND SUBSURFACE UTILITIES SHOWN HEREON. FOUNDATIONS, ENCROACHMENTS AND ANY ADDITIONAL SUBSURFACE UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON. THIS SITE COULD HAVE ADDITIONAL UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION EXCAVATIONS, CONTACT 811.COM (811) AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.
11. NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
12. NO OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES COMPLETED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION AND NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
13. NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
14. THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY L & S DIVERSIFIED, LLC (L&S). L&S HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYOR'S CERTIFICATION SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. L&S MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR RECEIVED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT L&S DIRECTLY FOR VERIFICATION OF ACCURACY.
15. THIS SURVEY CANNOT BE RELIED UPON BY PERSONS OR ENTITIES OTHER THAN THE PERSONS OR ENTITIES CERTIFIED TO HEREON.
16. ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

SURVEYOR'S CERTIFICATION

TO:
 HANLEX FIRST STREET, LLC
 TRACTOR SUPPLY COMPANY, A DELAWARE CORPORATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND SNAPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 8, 9, 10, 11(a), 11(b), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON OCTOBER 22, 2015 AND JULY 12, 2016

SHERRY LEE MANOR, PSM #6961
 DATE OF PLAT OR MAP: AUGUST 8, 2016

APOPKA - 4 ACRE PARCEL
 HANLEX DEVELOPMENT, LLC
BOUNDARY & TOPOGRAPHIC SURVEY

LOCATED IN
 SECTION 9, TOWNSHIP 21 SOUTH, RANGE 28 EAST
 CITY OF APOPKA
 ORANGE COUNTY, FLORIDA

ALTA/ACSM LAND TITLE SURVEY

REVISIONS			
No.	DATE	BY	DESCRIPTION
01	2015 NOV 11	S. MANOR	ADD NOTES & BOUNDARY LEGAL DESCRIPTION LINE CALLS (UPDATE BEARING DIRECTIONS)
02	2015 NOV 11	S. MANOR	UPDATE CERTIFICATION (PARTIAL)
03	2015 JUNE 17	S. MANOR	UPDATE CERTIFICATION TO INCLUDE ITEMS 10, 13A, 14 AND 17
04	2016 JULY 24	S. MANOR	ADDITIONAL PROPERTY SURVEYED AND NEW TITLE COMMITMENT
05	2016 AUGUST 08	S. MANOR	REVISE BOUNDARY PER CLIENT

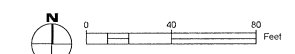
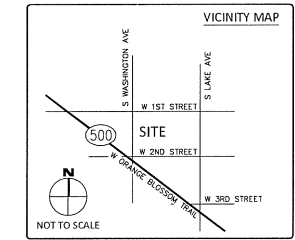
PROJECT No.	15-0076
SURVEY BY	S. MANOR
DATE	2016 OCTOBER 22
DRAWN BY	S. MANOR
CHECKED BY	S. MANOR
DATE	2016 OCTOBER 22
FILED BY	S. MANOR
DATE	2016 OCTOBER 22

DRAWING No.
V-1
 SHEET
 1 OF 2

L & S Diversified
 PROFESSIONAL SURVEYOR & MAPPER BUSINESS LICENSE #1447575

LEGEND & ABBREVIATIONS

- ⊠ = 4"x4" WOOD POST
- ⊠ = AIR RELEASE VALVE
- ⊠ = BACKFLOW PREVENTER
- = CLEAN OUT
- ☼ = CONCRETE LIGHT POLE
- ⊠ = DRAINAGE MANHOLE
- ⊠ = ELECTRIC BOX
- ⊠ = ELECTRIC PULL BOX
- ⊠ = FIBER OPTIC VAULT
- ⊠ = FIRE HYDRANT
- ⊠ = GAS VALVE
- ⊠ = GUY ANCHOR
- ⊠ = SANITARY MANHOLE
- ⊠ = SIGN
- ⊠ = TELEPHONE RISER
- ⊠ = WATER METER
- ⊠ = WATER VALVE
- ⊠ = WOOD POWER POLE
- ⊠ = WOOD LIGHT POLE
- ⊠ = SPOT ELEVATION
- = CONTOUR LINE
- = BUILDING
- = CONCRETE
- = DRAINAGE PIPE
- = EDGE OF ASPHALT PAVEMENT
- BE = BURIED ELECTRIC
- BT = BURIED TELEPHONE
- GAS = GAS MAIN
- DE = OVERHEAD UTILITIES
- SAN = SANITARY PIPE/LINE
- WM = WATER MAIN
- ASPH = ASPHALT
- CONC = CONCRETE
- DIA = DIAMETER
- EAL = ELEVATION
- EP = EDGE OF PAVEMENT
- FFE = FINISHED FLOOR ELEVATION
- FND = FOUND
- HDPE = HIGH DENSITY POLYETHYLENE
- INV = INVERT
- IR = IRON ROD
- IRC = IRON ROD & CAP
- MH = MANHOLE
- MOT = MANAGEMENT OF TRAFFIC
- N&D = NAIL & DISK
- ORB = OFFICIAL RECORDS BOOK
- PG = PAGE
- PB = PLAT BOOK
- PVC = POLYVINYL CHLORIDE PIPE
- RCP = REINFORCED CONCRETE PIPE
- R/W = RIGHT OF WAY
- R = RADIUS
- L = LENGTH
- STMH = STORM MANHOLE
- Δ = DELTA
- C = CHORD
- CB = CHORD BEARING
- (D) = DEED
- (M) = MEASURED
- (P) = PLAT
- POB = POINT OF BEGINNING

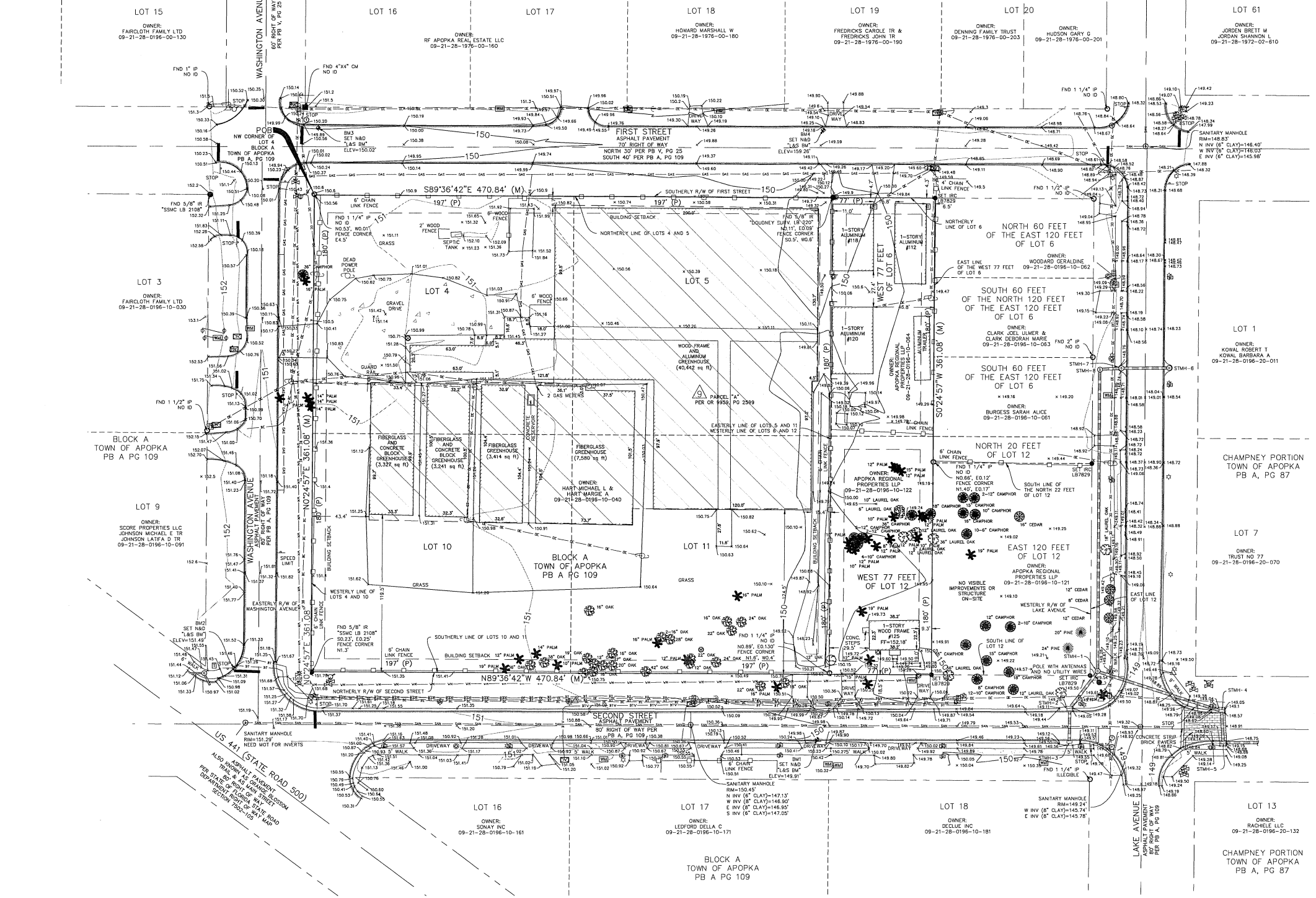


- STMH-1
RM=148.82
N INV (18" RCP)=143.93
SE INV (18" HDPE)=142.86
SW INV (18" RCP)=142.69
- STMH-2
EP/GRADE=149.01
NE INV (18" RCP)=142.26
S INV (18" RCP)=142.83
- STMH-3
EP/GRADE=149.21
N INV (18" RCP)=143.21
- STMH-4
EP/GRADE=148.74
NW INV (18" HDPE)=142.54
S INV (18" RCP)=142.50
- STMH-5
EP/GRADE=148.80
N INV (18" RCP)=142.42
E INV (18" RCP)=142.34
- STMH-6
RM=148.69
W INV (15" RCP)=145.02
- STMH-7
RM=148.70
W INV (18" RCP)=144.74
E INV (15" RCP)=144.81
12" DIA. DEEP WELL IN CENTER
APPROX. ±60" DEEP TOP=143.43
- STMH-8
RM=148.95
E INV (18" RCP)=144.81
S INV (18" RCP)=144.49

DAVIS AND MITCHELLS REPLAT
PB I V, PG 25

DAVIS AND MITCHELLS REPLAT
PB V, PG 25

DAVIS AND MITCHELLS REPLAT
PB A, PG 89



APOPKA - 4 ACRE PARCEL
HANEX DEVELOPMENT, LLC
BOUNDARY & TOPOGRAPHIC SURVEY

LOCATED IN
SECTION 9, TOWNSHIP 21 SOUTH, RANGE 28 EAST
CITY OF APOPKA
FLORIDA COUNTY, FLORIDA

REVISONS		
No.	DATE	BY
01	11/11/2012	S.L. WANDER
02	09/16/2013	S.L. WANDER
03	09/26/2013	S.L. WANDER
04	03/28/2013	S.L. WANDER
05	03/28/2013	S.L. WANDER
06	03/28/2013	S.L. WANDER

REVISIONS	
DESCRIPTION	DATE
ADD METES & BOUNDS LEGAL DESCRIPTION LINE CALLS LOCATE BEARING DIRECTIONS	11/11/2012
UPDATE CERTIFICATION PARAGRAPH	09/16/2013
CREATE CERTIFICATION TO INCLUDE ITEMS 10A, 10AA, 10AB, 10C	09/26/2013
ADJUST TOTAL PROPERTY SURVEY AREA AND NEW 7.11 AC COMMITMENT	03/28/2013
REMOVE BOUNDARY PER CLIENT	03/28/2013

PROJECT No.	15-0076
SUPPLIER	S. WANDER
ISSUE DATE	03/28/2013
DRAWN BY	S.L. WANDER
CHECKED BY	S.L. WANDER
DATE	03/28/2013
FILED BY	S.L. WANDER
DATE	03/28/2013
APPROVED BY	S.L. WANDER

V-2
SHEET
2 OF 2

L & S
Diversified

REGISTERED PROFESSIONAL SURVEYOR & MAPPER LICENSE #14872-0

TRACTOR SUPPLY AT APOPKA

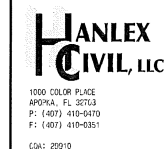
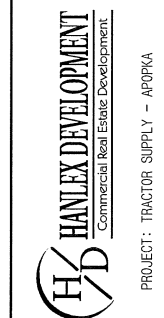
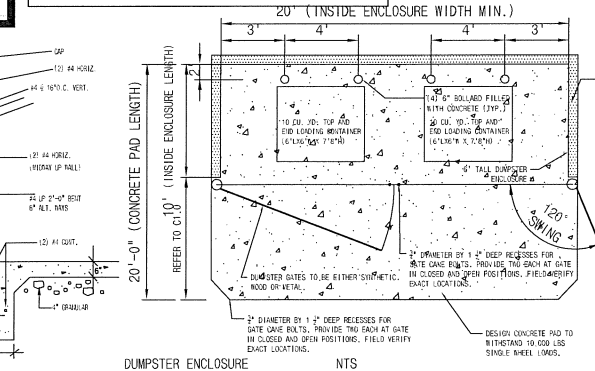
SITE SPECIFIC INFORMATION

PARCEL NUMBER	09-21-28-0196-10-040; 09-21-28-0196-10-064; 09-21-28-0196-10-122																
PROPERTY AREA	±3.24 ACRES																
EXISTING USE	CITIZEN NURSERY																
PROPOSED USE	COMMERCIAL (TRACTOR SUPPLY COMPANY)																
ZONING CLASSIFICATION	C-2 (COMMERCIAL)																
PROJECT ADJACENT (N)	P01 (PROFESSIONAL OFFICE)																
ADJACENT (E)	C-2 (COMMERCIAL)																
ADJACENT (R)	C-2 (COMMERCIAL)																
ADJACENT (S)	C-2 (COMMERCIAL)																
PARKING REQ.	1 SPACE PER 300 SF OF GFA 19,097 SF = 64 SPACES TOTAL = 64 REQUIRED																
PARKING PROVIDED	67 (REGULAR) + 4 (HANDICAP) = 71 (TOTAL)																
BUILDING SETBACKS	<table border="1"> <tr> <th>FRONT (S)</th> <th>SIDE (E)</th> <th>REAR (N)</th> <th>SIDE (W)</th> </tr> <tr> <td>15'</td> <td>30'</td> <td>15'</td> <td>15'</td> </tr> <tr> <td>PROPOSED</td> <td>150'</td> <td>51.6'</td> <td>45'</td> </tr> </table>	FRONT (S)	SIDE (E)	REAR (N)	SIDE (W)	15'	30'	15'	15'	PROPOSED	150'	51.6'	45'				
FRONT (S)	SIDE (E)	REAR (N)	SIDE (W)														
15'	30'	15'	15'														
PROPOSED	150'	51.6'	45'														
LANDSCAPE BUFFER	<table border="1"> <tr> <th>FRONT (S)</th> <th>SIDE (E)</th> <th>REAR (N)</th> <th>SIDE (W)</th> </tr> <tr> <td>10'</td> <td>10'</td> <td>10'</td> <td>10'</td> </tr> <tr> <td>REQUIRED</td> <td>35'</td> <td>30'</td> <td>30'</td> </tr> <tr> <td>PROPOSED</td> <td></td> <td></td> <td></td> </tr> </table>	FRONT (S)	SIDE (E)	REAR (N)	SIDE (W)	10'	10'	10'	10'	REQUIRED	35'	30'	30'	PROPOSED			
FRONT (S)	SIDE (E)	REAR (N)	SIDE (W)														
10'	10'	10'	10'														
REQUIRED	35'	30'	30'														
PROPOSED																	
MAX. BUILDING HEIGHT	REQUIRED: 35' PROPOSED: 30'																
MAX. FLOOR AREA RATIO	REQUIRED: 0.50 PROPOSED: 0.11																
GROSS FLOOR AREA	±19,097																
FEMA	THE SUBJECT PROPERTY LIES IN FLOOD ZONE X, ACCORDING TO FEDERAL ENERGY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL 205 OF 750, MAP NUMBER 12095C0120F FOR INDIAN RIVER COUNTY, FLORIDA, DATED SEPTEMBER 25, 2009. TO BE VERIFIED BY LOCAL FEMA OFFICIAL.																

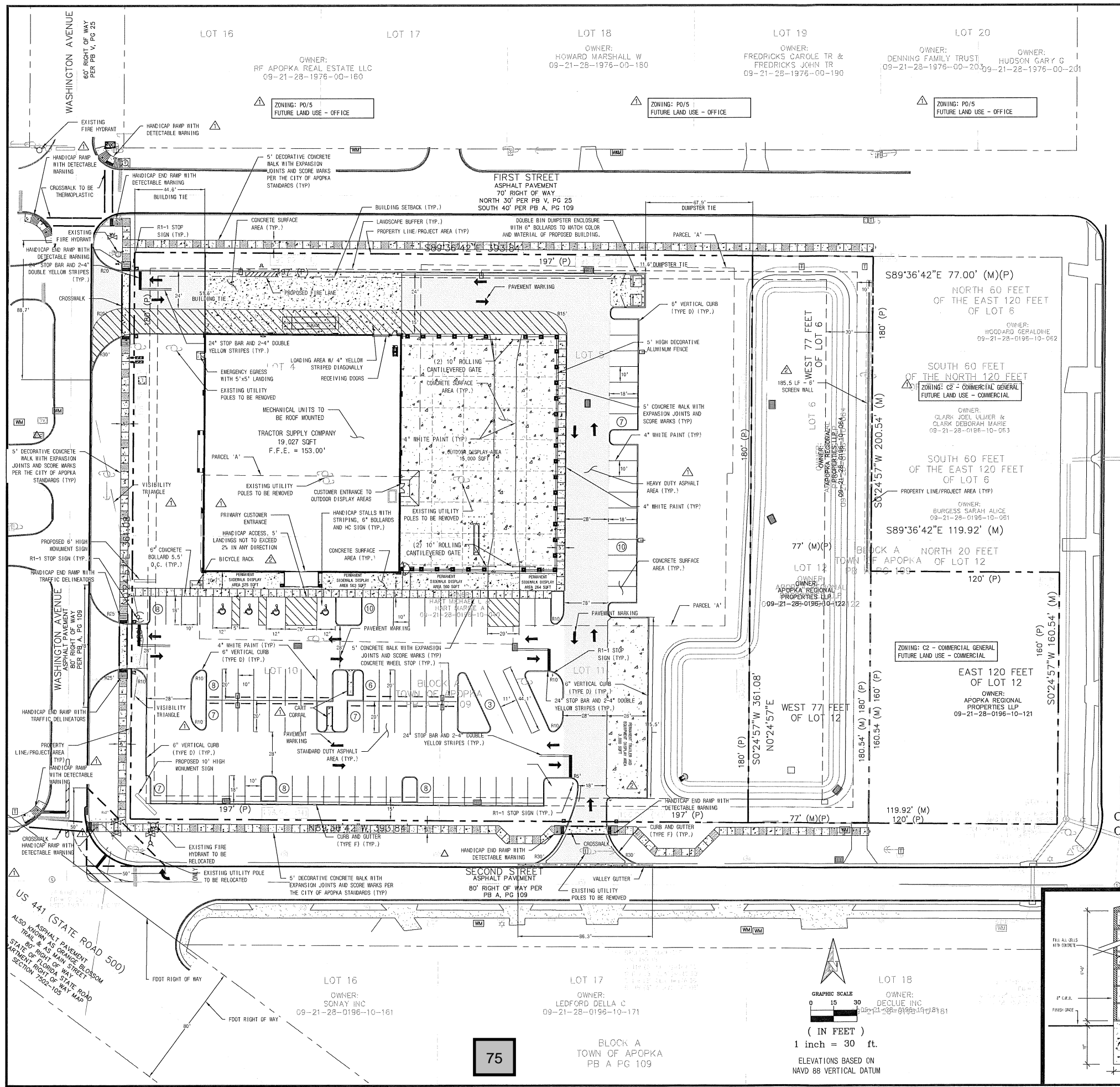
SITE DATA TABLE	
PARCEL ID NUMBER	09-21-28-0196-10-040
FUTURE LAND USE	COMMERCIAL
ZONING	C-2
ACREAGE/SQUARE FOOT	±3.90 ACRES
OVERLAY DISTRICT	COMMUNITY REDEVELOPMENT AREA (CRA)
BUILDING HEIGHT	PROPOSED: 30' MAX: 35'
FLOOR AREA RATIO	PROPOSED: 14% MAX: 50%
BUILDING SETBACKS	PROPOSED: FRONT: 15' SIDE: 30' REAR: 52.5' CORNER: 15' REQUIRED: FRONT: 10' SIDE: 10' REAR: 10' CORNER: 15'
PARKING SPACES	PROVIDED: 86 (REGULAR) + 3 (HANDICAP) = 89 (TOTAL) REQUIRED: 113
TREE BANK MITIGATION FEE	\$10 PER INCH PRESENTLY SHORT 170' TOTAL FEE = \$1,700.00
HOURS OF OPERATION	8:00 am - 9:00 pm
NUMBER OF EMPLOYEES	N/A
WAVIER REQUEST	N/A
VARIANCE REQUEST	2 - SEE BELOW

VARIANCE (V) / WAIVER (W) TABLE				
CODE #	CODE REQUIREMENT	(V/W)	REQUEST	JUSTIFICATION
8.04.02.E	TWO FREE STANDING SIGNS ALLOWED FOR TWO FRONTS	V	THIRD FREESTANDING SIGN	SITE BOREERS THREE BIGHT-OF-WAYS
8.04.02.D	SIX FEET MAXIMUM SIGN HEIGHT	V	TEN FOOT SIGN HEIGHT FOR SIGN AT CORNER	SIGHT VISIBILITY FROM ROW
6.03.01.H	NUMBER OF PARKING STALLS	W	REDUCTION IN PARKING STALLS	EXCEEDS REQUIRED STALLS FOR TRACTOR SUPPLY (SEE SUBMITTED TRAFFIC STUDY)

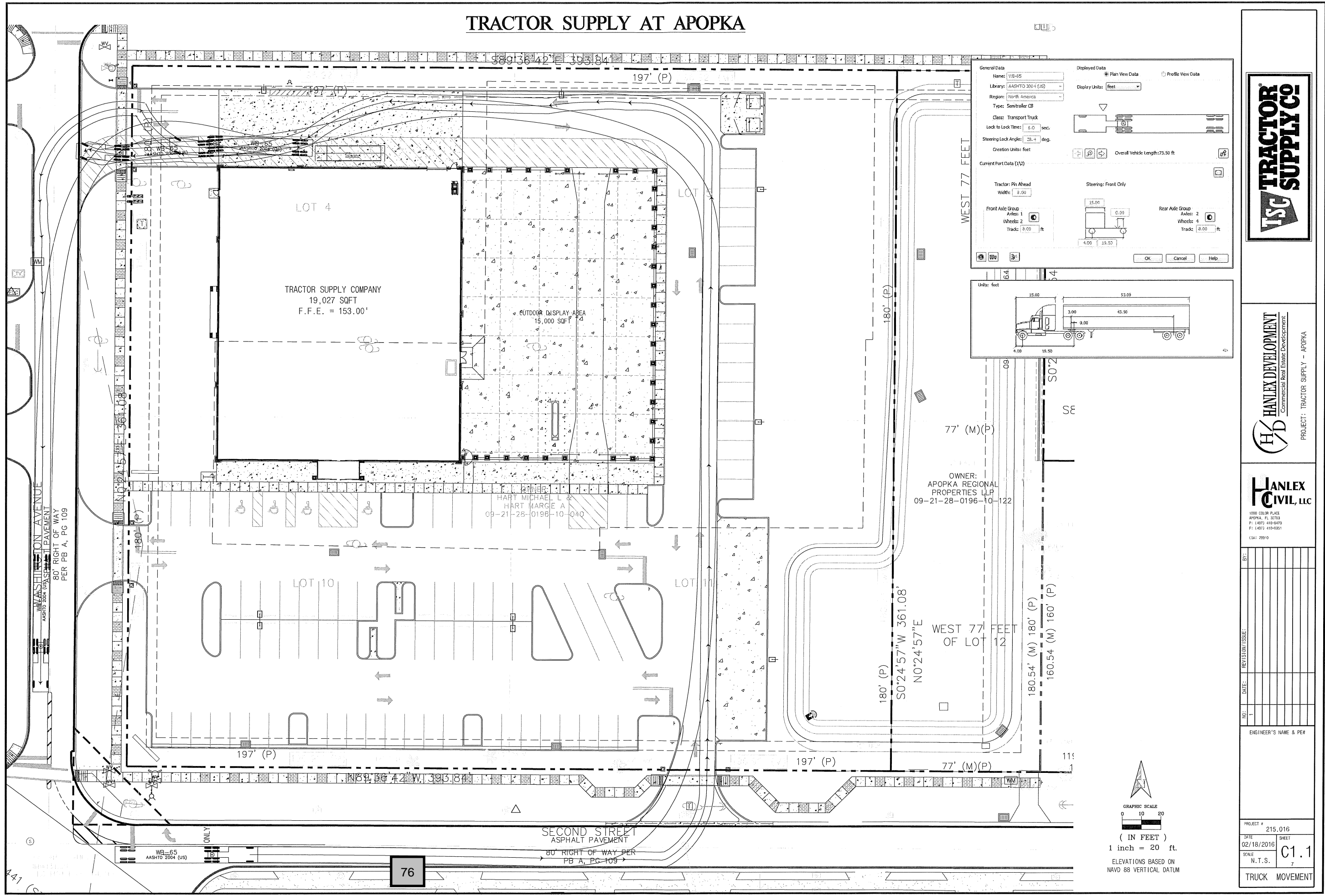
- NOTES:**
- PRIOR TO SITE CLEARING AND GRADING ACTIVITIES OCCURRING ON SITE, PROVIDE A LETTER FROM DEP FOR MITIGATION OF SITE CONDITION.
 - SHOPPING CARTS SHALL INCLUDE BUSINESS NAME AND CONTACT INFORMATION ON THE CART.
 - DETAILS OF THE PROPOSED DECORATIVE ALUMINUM FENCE WILL BE SUBMITTED WITH FINAL DEVELOPMENT PLAN.
 - DETAILS OF PROPOSED SCREEN WALL TO BE SUBMITTED WITH FINAL DEVELOPMENT PLAN.
 - THE SITE MUST BE PLATTED/PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.



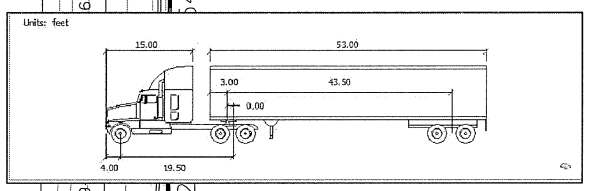
DATE:	08-04-16	09-02-16	09-22-16
NO.:	1	2	3
REVISION/ISSUE:	CITY OF APOPKA COMMENTS	CITY OF APOPKA AND DRC COMMENTS	CITY OF APOPKA AND DRC COMMENTS
ENGINEER'S NAME & PE#	JASON D. BULLARD, P.E. P.E. LICENSE NO. 73800		
PROJECT #	215.016		
DATE	02/18/2016		
SCALE	1:30		
SHEET	C1.0		
GEOMETRY PLAN			



TRACTOR SUPPLY AT APOPKA



General Data
 Name: WB-55
 Library: AASHTO 2004 (US)
 Region: North America
 Type: Semi-trailer CB
 Class: Transport Truck
 Lock to Lock Time: 6.0 sec
 Steering Lock Angle: 35.4 deg
 Creation Units: feet
 Current Part Data (1/2)
 Tractor Pin Ahead Width: 8.00
 Front Axle Group: Axles: 1, Wheels: 2, Track: 8.00 ft
 Steering: Front Only
 Rear Axle Group: Axles: 2, Wheels: 4, Track: 8.00 ft
 Overall Vehicle Length: 73.50 ft



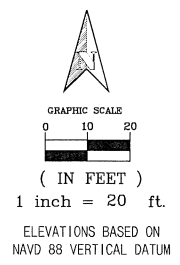
HANLEX DEVELOPMENT
 Commercial Real Estate Development
 PROJECT: TRACTOR SUPPLY - APOPKA

HANLEX CIVIL, LLC
 1000 COLOR PLACE
 APOPKA, FL 32030
 P: (407) 410-9870
 F: (407) 410-9351
 C/S: 28910

NO.	DATE	REVISION/ISSUE
1		

ENGINEER'S NAME & PE#

PROJECT # 215.016
 DATE 02/18/2016
 SCALE N.T.S.
 SHEET C1.1
 TRUCK MOVEMENT



TRACTOR SUPPLY AT APOPKA

GRADING AND DRAINAGE NOTES:

1. CONTRACTOR MUST MAINTAIN AT LEAST ONE AND A HALF FEET (1.5') OF COVER OVER ALL STORMWATER PIPE IN GREEN AREA AND 2 FEET (2') ELSEWHERE, UNLESS SPECIFIED OTHERWISE ON PLANS.
2. ALL BELDS SHOWN IN PROPOSED HOPE STORM PIPE, IF APPLICABLE ARE 45'.
3. CONTRACTOR SHALL SLOPE ALL GRADES AWAY FROM BUILDING.
4. PROPOSED SIDEWALKS SHALL NOT EXCEED A 2% CROSS SLOPE AND 5% LONGITUDINAL.
5. HANDICAP ZONE SHALL NOT EXCEED A 2% SLOPE IN ANY DIRECTION.
6. HANDICAP ACCESSIBLE ROUTE SLOPE SHALL NOT EXCEED 2% CROSS AND 5% LONGITUDINAL.
7. ALL SLOPES TO BE STABILIZED WITH BAHIA SOD.
8. ALL GRADES ARE TO TOP OF ASPHALT UNLESS OTHERWISE NOTED.
9. FINISHED FLOOR ELEVATION SHALL BE AT MINIMUM 6" ABOVE SURROUNDING GRADE (EXCLUDING SIDEWALKS).
10. SOD PLACED ON A 3:1 SLOPE OR GREATER SHALL BE STAKED.

IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND CONTRACTOR SHALL NOTIFY AUTHORITIES AND ENGINEER.



PROJECT: TRACTOR SUPPLY - APOPKA

1000 COLOR PLACE
APOPKA, FL 32703
P: (407) 410-0470
F: (407) 410-0351
C04: 2010

NO.	DATE	REVISION/ISSUE
1	08-02-15	CITY OF APOPKA 2ND DRG COMMENTS
2	09-22-15	CITY OF APOPKA 3RD DRG COMMENTS

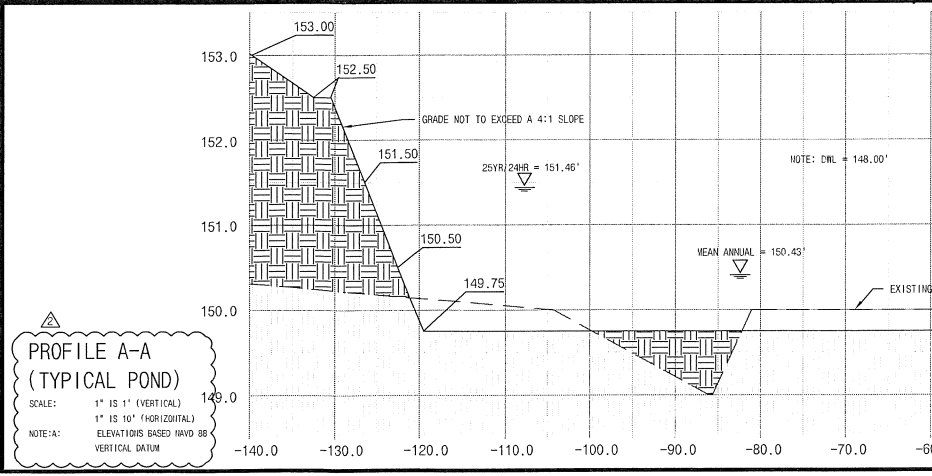
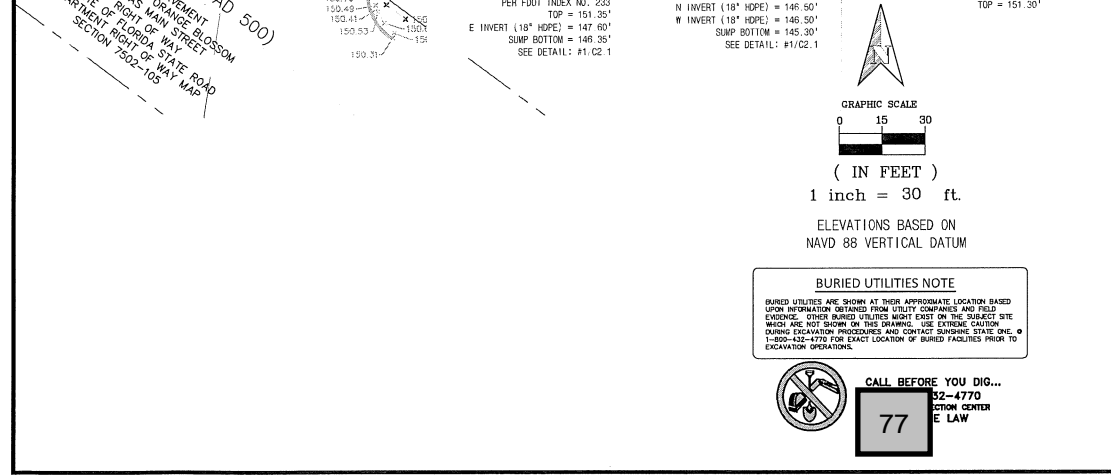
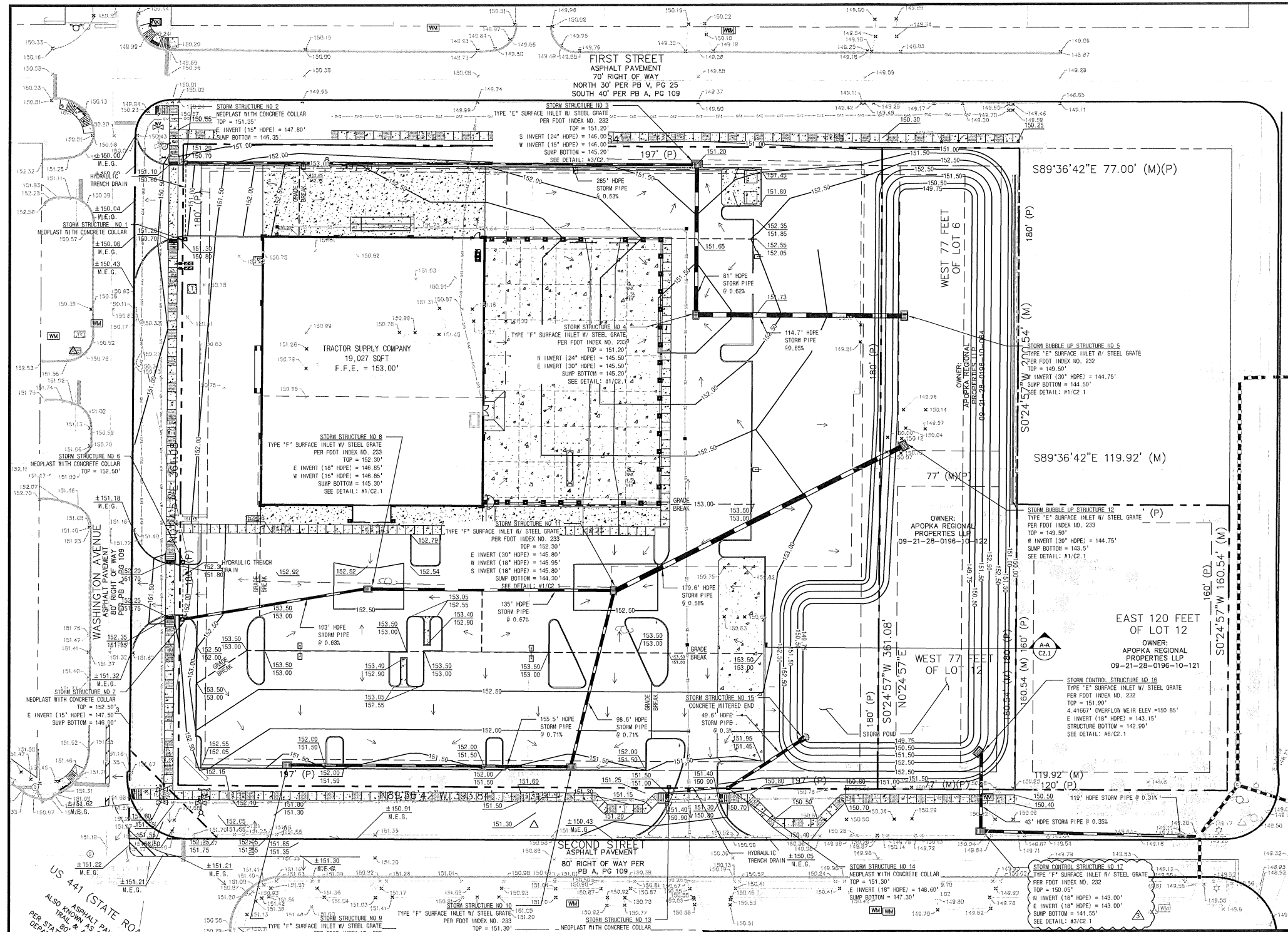
ENGINEER'S NAME & PE#

JASON D. BULLARD, P.E.
P.E. LICENSE NO. 73800

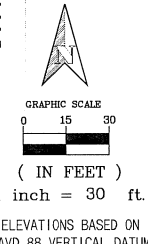
PROJECT # 215,016

DATE 02/18/2016 SHEET C2.0

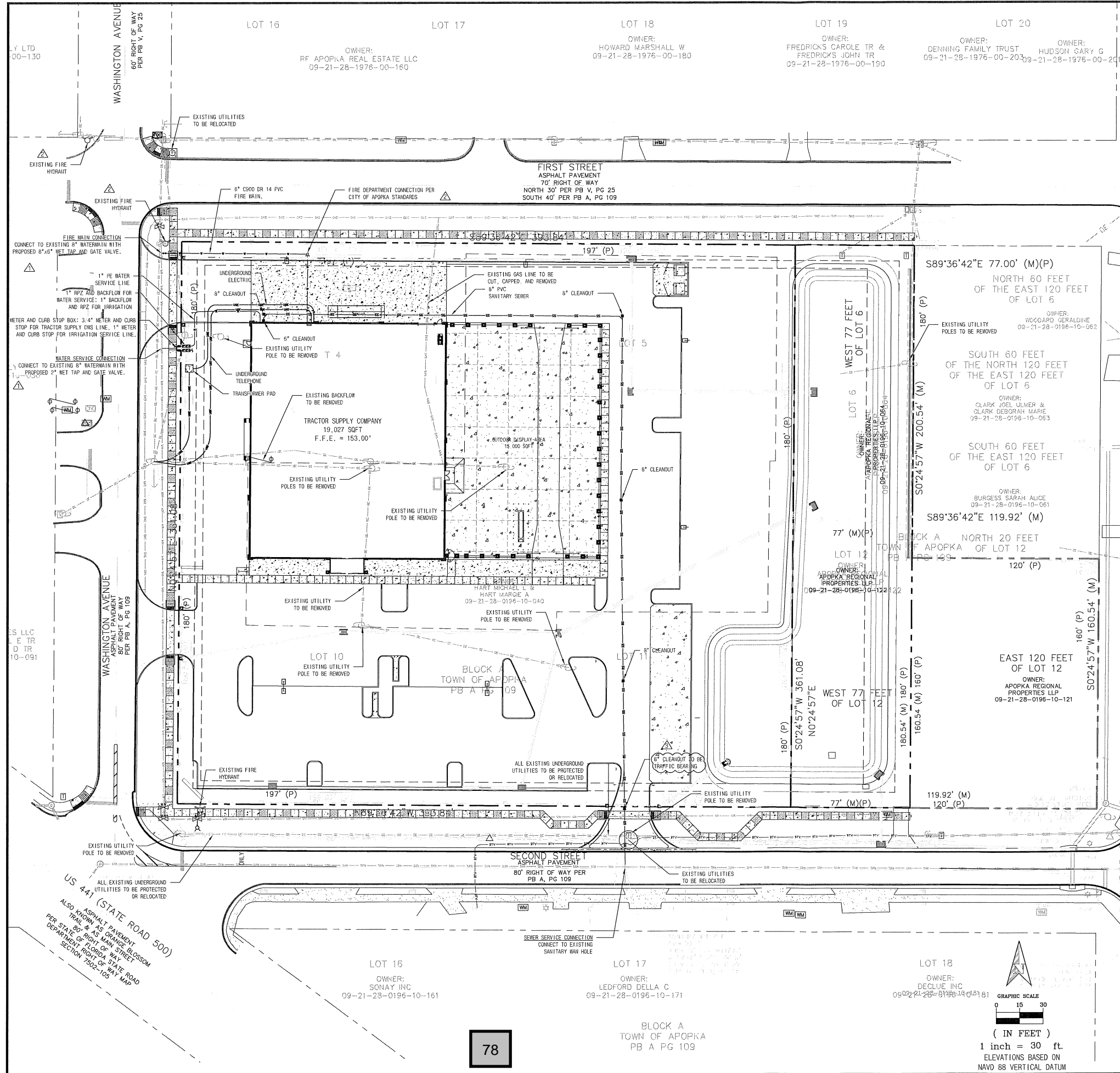
SCALE 1:30 B GRADING PLAN



US 441 (STATE ROAD 500)
ALSO KNOWN AS GRANGE BLOSSOM TRAIL & AS MAIN STREET PER STATE DEPT. OF TRANSPORTATION SECTION 7502-105



PROFILE A-A (TYPICAL POND)
SCALE: 1" IS 1' (VERTICAL)
1" IS 10' (HORIZONTAL)
NOTE: ALL ELEVATIONS BASED NAVD 88 VERTICAL DATUM



TRACTOR SUPPLY COMPANY AT APOPKA

UTILITY NOTES:

1. ALL UTILITIES IN RIGHT-OF-WAY MUST BE LOCATED PRIOR TO BEGINNING CONSTRUCTION OF WORK WITHIN PUBLIC RIGHT-OF-WAY. CONTRACTOR MUST PERFORM WORK WITHIN RIGHT-OF-WAY UNDER THE SUPERVISION OF THE APPROPRIATE INSPECTORS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL 1-800-424-4773, AND FIELD VERIFY THAT NO UTILITY CONFLICTS EXIST PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE WITH THE ENGINEER OF RECORD AND THE NECESSARY UTILITY PROVIDERS IF A CONFLICT IS FOUND.
2. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED, BY THE CONTRACTOR OR SUBCONTRACTORS, AS CALLED FOR IN THESE CONTRACT DOCUMENTS.
3. RIGHT-OF-WAY UTILIZATION AND/OR UNDERGROUND UTILITY PERMIT(S) REQUIRED SHALL BE OBTAINED PRIOR TO WORK.
4. ALL BENDS/ANGLES (NOT CURVES) IN UTILITY PIPES DEPICTED ABOVE ARE 45° UNLESS SPECIFIED OTHERWISE. CONTRACTOR SHALL UTILIZE MECHANICAL RESTRAINTS AT ALL BENDS AND ENDS OF PIPES OVER 3" IN DIAMETER.
5. CONTRACTOR SHALL FIX LOCATING WIRE TO TOP CENTERLINE OF ALL UTILITY PIPE AS SHOWN ON DETAIL: C3.1
6. MECHANICAL RESTRAINING JOINTS/RODS SHALL BE USED FOR ALL PIPES 3" DIAMETER OR GREATER.
7. CONTRACTOR IS REQUIRED TO NOTIFY ENGINEER OF PRESSURE TEST AND TAPPING AT LEAST 5 DAYS IN ADVANCE.
8. CONTRACTOR SHALL ADHERE TO THE MAINTENANCE OF TRAFFIC PLANS FOR ALL WORK PROPOSED WITHIN AND ADJACENT TO THE RIGHT-OF-WAY. DETAILS: ALL C1.3
9. THE PLACEMENT OF PERMANENT PAVEMENT SHALL NOT OCCUR UNTIL ALL SLEEVING FOR IRRIGATION, ELECTRIC, GAS, TELEPHONE, CABLE TV, ETC. HAS BEEN INSTALLED. IT SHALL BE THE PAVING CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL SLEEVING IS IN PLACE PRIOR TO PLACING PERMANENT PAVING.
10. CONTRACTOR MUST SHOOT SANITARY SEWER AND STORM WATER INFRASTRUCTURE AS-BUILT DATA AND SUBMIT TO ENGINEER OF RECORD FOR APPROVAL PRIOR TO ASPHALT PAVEMENT AND BASE COURSE INSTALLATION.
11. THE DISCHARGE OF GROUNDWATER PRODUCED THROUGH DEWATERING, TO SURFACE WATERS, OR TO ANY PORTION OF THE USA WILL REQUIRE SEPARATE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP). PERMITS SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEWATERING.
12. ALL DISTURBED AREAS SHALL BE RESTORED AND SOODED.

GAS, ELECTRICAL, TELEPHONE, AND CABLE TV UTILITIES:

1. ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OF GAS, ELECTRIC, TELEPHONE, FIBER OR CABLE TV UTILITIES, AND ANY INFORMATION PERTAINING TO THE DESIGN OR LOCATION OF THOSE UTILITIES IS SHOWN ON THE CIVIL DRAWINGS FOR GENERAL REFERENCE ONLY. REFER TO ELECTRICAL PLANS FOR ACTUAL LOCATIONS OF THESE UTILITIES AND FOR SPECIFIC NOTES AND INFORMATION.
2. MATERIALS INTERFERING WITH CONSTRUCTION AND ABANDONED UTILITY LINES, PIPES, STRUCTURES, AND OTHER SUBTERRANEAN OBJECTS SHALL BE REMOVED. ALL MATERIALS NOT CLAIMED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN A LEGAL MANNER.
3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND COORDINATING WITH THE APPROPRIATE UTILITY AUTHORITIES BEFORE CONSTRUCTION COMMENCES. CONTRACTOR MUST CALL SUNSHINE STATE ONE CALL (OR PRIVATE LOCATOR) FOR UTILITY LOCATES 48 HOURS PRIOR TO CONSTRUCTION AT 1-800-422-4770. ANY UTILITY CONFLICTS SHALL BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO CONSTRUCTION.
4. INSTALL ALL REQUIRED CONDUIT TO THE PROPERTY PER LINE FOR APPLICABLE UTILITY SERVICE. COORDINATE WITH UTILITY PROVIDER, ELECTRICAL ENGINEER AND ARCHITECTURAL PLANS ON FINAL SIZE AND LOCATION OF CONDUIT.

UTILITY SEPARATION REQUIREMENTS:

NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, NEW OR RELOCATED. UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

NO TREE, UNLESS AN UNDERSTORY TREE, TO EXCEED MAXIMUM HEIGHT OF 20 FEET MAY BE PLANTED UNDER OR WITHIN TEN LATERAL FEET OF ANY OVERHEAD UTILITY WIRE. NO TREE SHALL BE PLANTED WITHIN FIVE FEET OF ANY UNDERGROUND WATER LINE, SEWER LINE, TRANSMISSION LINE OR UTILITY.

HORIZONTAL & VERTICAL SEPARATION FROM OTHER UTILITIES

OTHER PIPE	(a) GRAVITY OR PRESSURE SANITARY SEWER (b) SANITARY SEWER FORCE MAIN (c) RECLAIMED WATER (4)	(d) STORM SEWER (e) STORMWATER FORCE MAIN (f) RECLAIMED WATER (2)	ON-SITE SERVICE TREATMENT DISPOSAL SYSTEM
HORIZONTAL SEPARATION	 6' MINIMUM (3)	 7' MIN	10' MIN
CROSSINGS (1)	 12" IS THE MINIMUM EXCEPT FOR GRAVITY SEWERS, THEN 6" IS THE MINIMUM AND 12" IS PREFERRED.	 12" IS THE MINIMUM EXCEPT FOR STORM SEWERS, THEN 6" IS THE MINIMUM AND 12" IS PREFERRED.	
JOINT SPACING AT CROSSINGS (FULL JOINT COVERED)	ALTERNATE 6 FT MINIMUM	ALTERNATE 3 FT MINIMUM	

- (1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
- (2) RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- (3) 3 FT FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
- (4) RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.



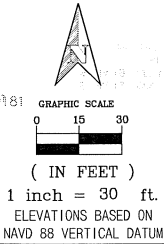
1000 COLOR PLACE
APOPKA, FL 32703
P: (407) 410-6470
F: (407) 410-0351
COA: 20210

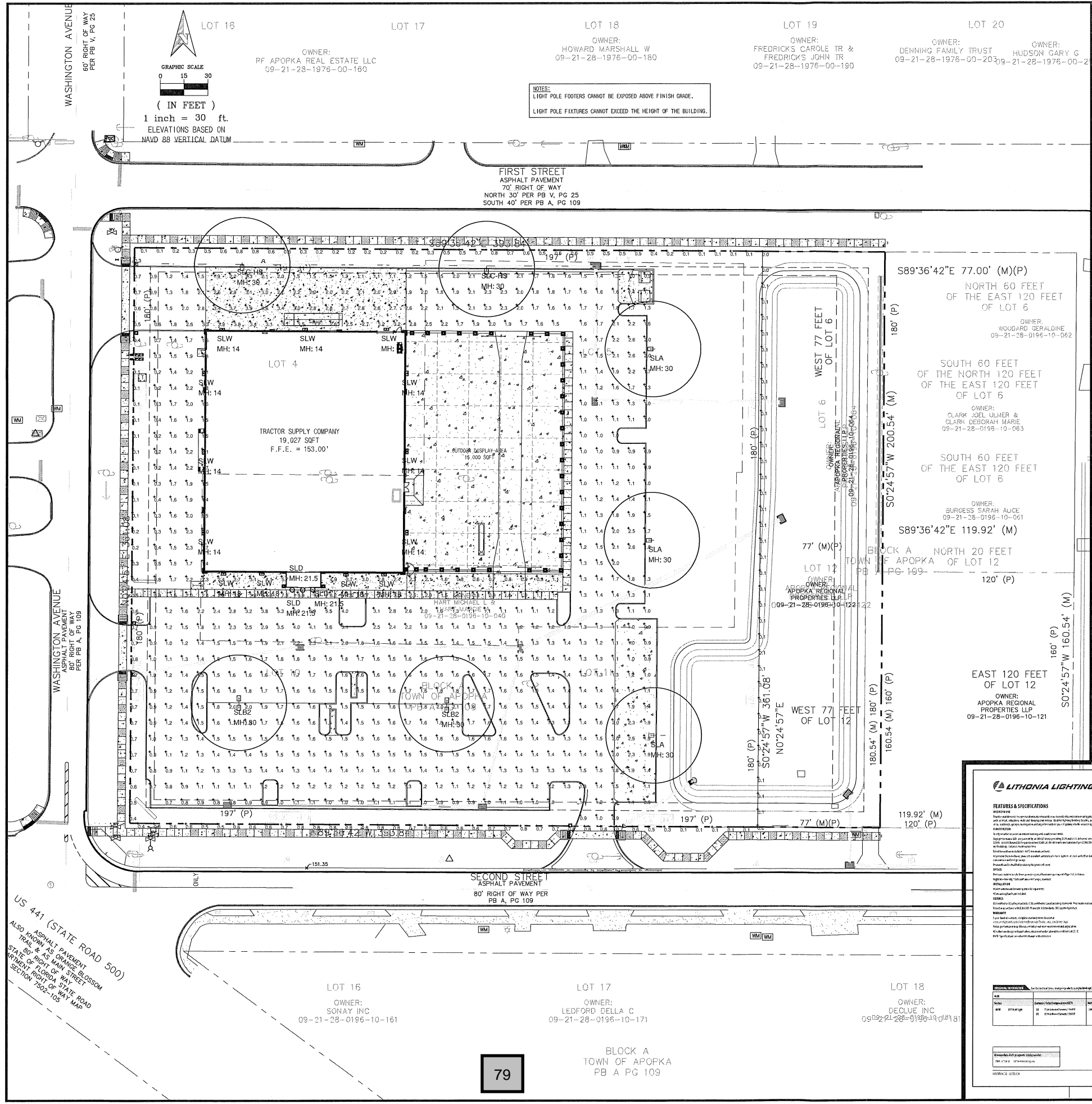
REV. NO.	DATE	REVISION/ISSUE
1	09-04-16	CITY OF APOPKA COMMENTS
2	09-02-16	CITY OF APOPKA 2ND DRC COMMENTS
3	09-22-16	CITY OF APOPKA 3RD DRC COMMENTS

ENGINEER'S NAME & PE#

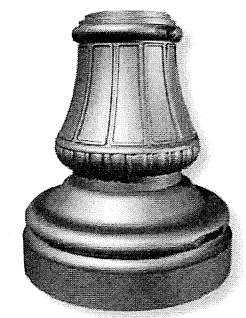
JASON D. BULLARD, P.E.
P.E. LICENSE NO. 73900

PROJECT # 215.016
DATE 02/18/2016
SCALE 1:30
SHEET C3.0
UTILITY PLAN





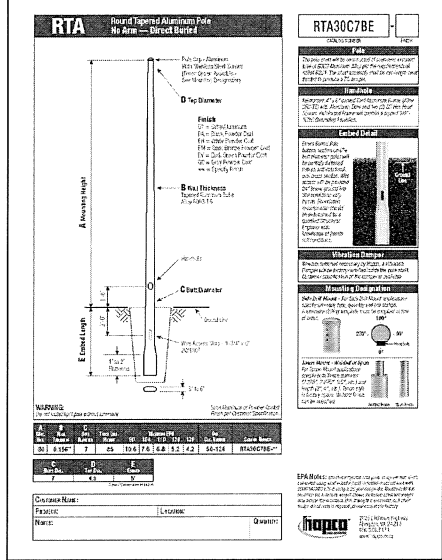
TRACTOR SUPPLY COMPANY AT APOPKA



Arlen 20"
Diameter: 20"
Height: 1'-11"
6"-8" Butt Diameters

Specifications W520

Category	Item	Description
LIGHT SOURCE & MATERIALS	1	Light Source: LED
	2	Material: Aluminum
	3	Finish: Powder Coat
	4	Color: White
ACTIVITIES REQUIRED	1	Manufacture
	2	Installation
	3	Inspection
	4	Testing
ACCESSORIES	1	Mounting Hardware
	2	Wiring
	3	Labeling
	4	Documentation



LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

OLW

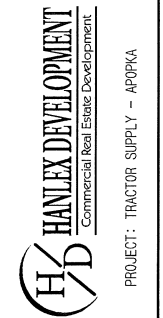
Item	Description	Quantity	Unit
1	OLW LED Luminaire	1	Each
2	Mounting Hardware	1	Kit
3	Wiring	1	Kit

D-Series Size 0 LED Area Luminaire

Introduction

The D-Series luminaire is a high-performance, energy-efficient lighting solution for industrial and commercial applications. It features a compact design and a long service life.

Item	Description	Quantity	Unit
1	D-Series Luminaire	1	Each
2	Mounting Hardware	1	Kit
3	Wiring	1	Kit



1000 COLOR PLACE
APOPKA, FL 32703
P: (407) 410-0670
F: (407) 410-0831
COA: 20010

REVISIONS/ISSUE

NO.	DATE	DESCRIPTION
1		

ENGINEER'S NAME & PE#

PROJECT # 215.016

DATE 02/18/2016 SHEET CP1.0

SCALE 1:30 10

PHOTOMETRIC

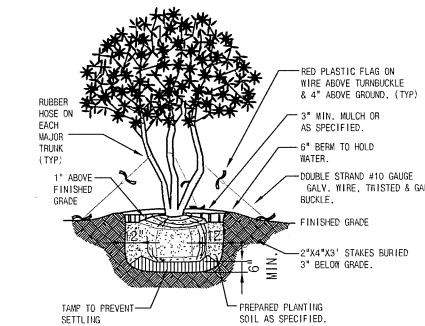
JURISDICTIONAL NOTES: ALL EQUIPMENT (INCLUDING ROOF TOP) AND UTILITY BOXES MUST BE FULLY SCREENED. (INCLUDING BACK OF BUILDING) TREES MEASURED AT DIAMETER AT BREAST HEIGHT (D.B.H.) HEDGE ROW SHALL BE PLACED TO THE REAR OF THE 10 F.T. LANDSCAPE BUFFER. MULCH SHOULD NOT EXTEND BEYOND DRIP LINE OF THE PLANTS AND TREES.

TRACTOR SUPPLY AT APOPKA

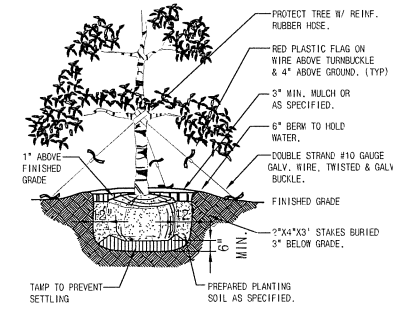
PLANT LIST

SYMBOL	BOTANICAL NAME (COMMON NAME)	MINIMUM SIZE/SPACING	DROUGHT TOLERANCE	NATIVE FLORIDA	QUANTITY
QV	QUERCUS VIRGINIANA (LIVE OAK)	8'-12' MIN. HT. 6" MIN. SPREAD, 2.5" DBH.	YES	YES	41
MG	MAGNOLIA GRANDIFLORA (SOUTHERN MAGNOLIA)	8'-12' MIN. HT. 5" MIN. SPREAD, 2.5" DBH.	YES	YES	15
TD	TAXIODIUM DISTICHUM (BALD CYPRESS)	8'-12' MIN. HT. 6" MIN. SPREAD, 2.5" DBH.	YES	YES	11
LI	LAGERSTROMIA INDICA (CREPE MYRTLE)	7' MIN. HT., 2" CAL. SINGLE TRUNK 3' MIN. SPREAD.	YES	NO	8
IV	ILEX VOMITORIA (YALPON HOLLY)	7' MIN. HT., 2" CAL. 3' MIN. SPREAD.	YES	NO	30
LWV	LIRIOPE MUSCARI (VARIATED LIRIOPE)	12"-14" MIN. HT. 1 GAL., 24" O.C.	YES	NO	322
RI	RAPHIOLEPIS INDICA (INDIAN HARTHORNE)	12" MIN. HT. 3 GAL., 24" O.C.	YES	NO	902
LC	LOROPETALUM "RUBRUM" (LOROPETALUM)	24" MIN. HT., 24" SPREAD 8 GAL., 30" O.C.	YES	NO	60
V03	VIBURNUM ODORATISSIMUM (SWEET VIBURNUM)	36" MIN. HT., 24" SPREAD 7 GAL., 30" O.C.	YES	NO	224
V04	VIBURNUM ODORATISSIMUM (SWEET VIBURNUM)	48" MIN. HT., 30" SPREAD 10 GAL., 42" O.C.	YES	NO	131
SOD	BAHIA	QUANTITY TO BE CALCULATED BY CONTRACTOR	YES	YES	

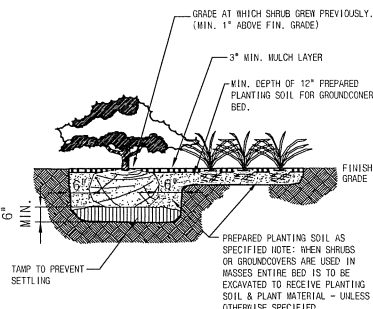
NOTE: WHERE GALLON REFERENCES MAY CONFLICT WITH HEIGHT/SPREAD AND CALIPER MEASUREMENTS, THE HEIGHT/SPREAD AND CALIPER MEASUREMENTS SHALL GOVERN.



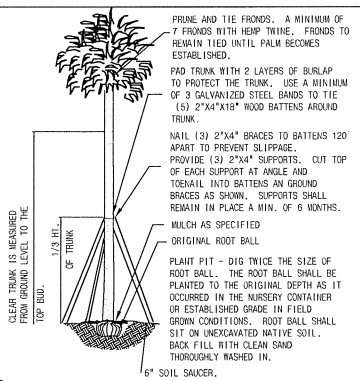
① MULTI-TRUNK DETAIL NTS



② TREE PLANTING DETAIL NTS



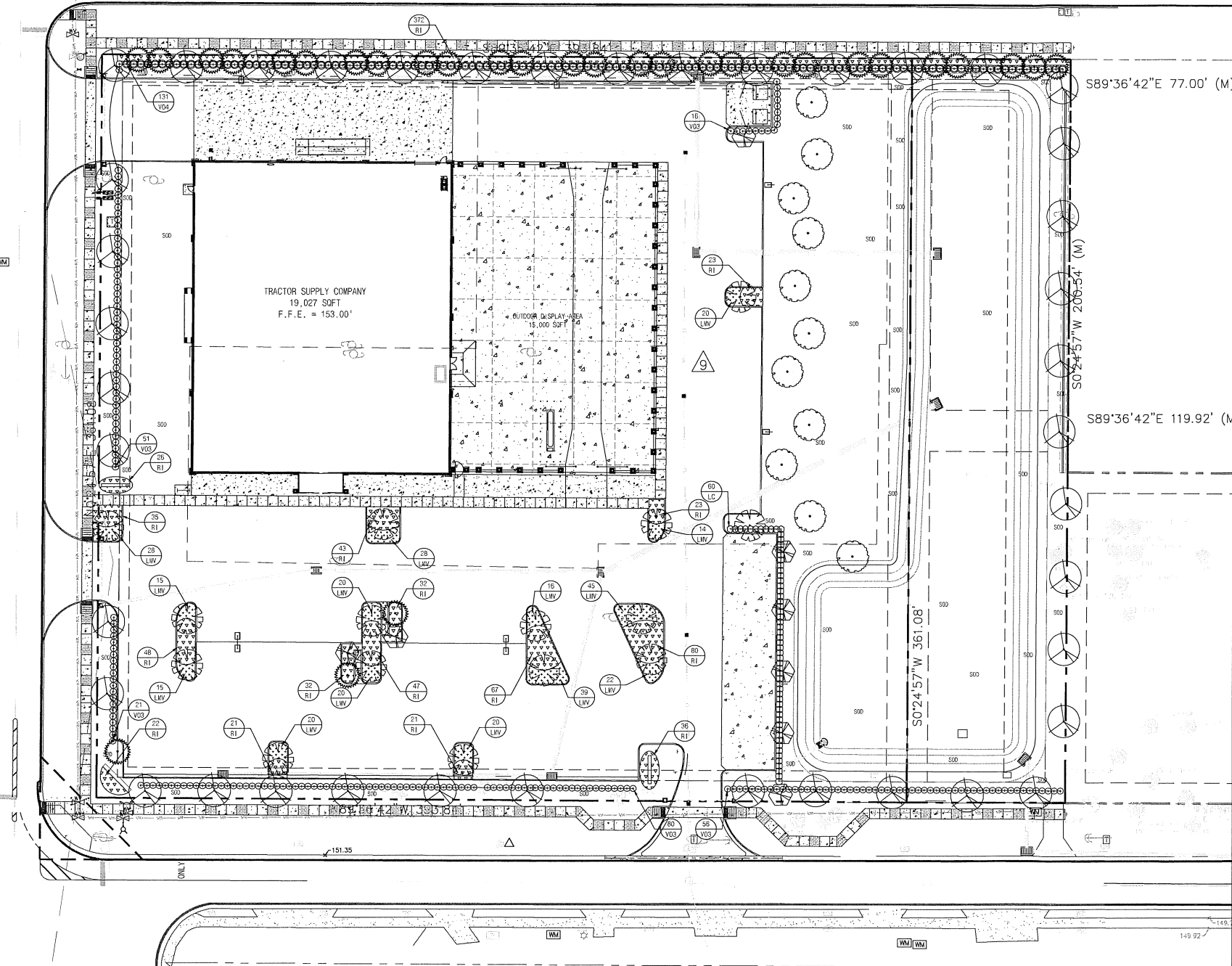
③ SHRUB AND GROUND COVER DETAIL NTS



④ PALM PLANTING DETAIL NTS

GENERAL LANDSCAPE NOTES

- ALL PLANTS TO BE FLORIDA NO. 1, OR BETTER AS OUTLINED UNDER GRADES AND STANDARDS FOR NURSERY PLANTS, PART 1, 1988 AND PART 8, STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, TALLAHASSEE, FLORIDA, AND ANY AMENDMENTS THERETO.
- ALL TREES AND PLANT MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS DESCRIBED IN THE STATE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF FORESTRY, "TREE PROTECTION MANUAL FOR BUILDERS AND DEVELOPERS", OCTOBER, 1980.
- THE LANDSCAPE CONTRACTOR (CONTRACTED BY OWNER, N.L.C.) SHALL BE RESPONSIBLE FOR ALL MATERIALS AND ALL WORK AS CALLED FOR ON THE LANDSCAPE PLANS. THE LIST OF PLANT QUANTITIES ACCOMPANYING THE PLANS SHALL BE USED AS A GUIDE ONLY. IF A VARIATION OCCURS BETWEEN THE PLANS AND THE PLANT LIST, THE PLANS SHALL CONTROL.
- ALL TREES, SHRUBS AND GROUND COVERS SHALL BE PLANTED USING A SOIL MIXTURE PREPARED ACCORDINGLY (2/3 EXISTING SOIL, 1/3 PEAT).
- THE LANDSCAPE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. VERTICAL DRILLING THROUGH ANY COMPACTED FILL TO NATIVE SOIL SHALL BE ACCOMPLISHED TO AID DRAINAGE.
- ALL PLANT BEDS AND TREE WATERING BASINS SHALL BE TOP DRESSED WITH THREE INCHES (3") OF SHREDED CYPRESS MULCH.
- NO TREES SHALL BE PLANTED CLOSER THAN 3 FEET (3') FROM THE EDGE OF PAVEMENT TO ALLOW ADEQUATE TREE TRUNK PROTECTION.
- LANDSCAPE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY THE INSTABILITY OF ANY PLANT MATERIAL.
- ALL LAWN AREAS TO RECEIVE SOD SHALL BE DISKED FOUR(4) TO SIX(6) INCHES AND DRAGGED TO ESTABLISH A LEVEL FINISH GRADE. ALL DEBRIS TO BE REMOVED FROM THE SITE.
- SOD SHALL BE FREE OF WEEDS AND PESTS. IT SHALL BE LAID EVENLY AND ROLLED, WITH TRIGHT FITTING JOINTS. THE SOD SHALL CONTAIN MOST SOIL WHICH DOES NOT FALL APART OR TEAR WHEN LIFTED. ALL AREAS NOT PAVED OR OTHERWISE LANDSCAPED SHALL BE SODDED. SOD SHALL BE ARGENTINE BAHIA OR EQUAL.
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM, WITH 100% COVERAGE, BACKFLOW PREVENTOR, & RAIN SENSOR DEVICE. DIRECT SPRAY HEADS AWAY FROM ANY NATURAL AREAS AND PAVED SURFACES.
- THE TREE CALIPER OF ALL CANOPY TREES SPECIFIED ON THE PLANT LIST SHALL BE MEASURED AT SIX (6) INCHES ABOVE GRADE.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC., WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.

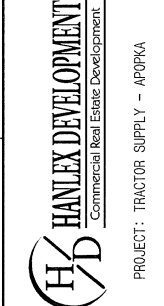
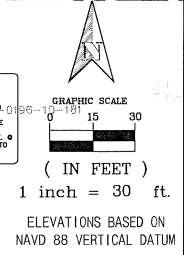


LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

RICK ABT
252 KINGS HWY.
DECATUR, GA 30030
404-909-2736

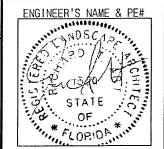
BURIED UTILITIES NOTE
BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED ON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD SURVEY WHICH ARE NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION DURING EXCAVATION PROCEDURES AND CONTACT BARRAGE STATE ONE, 1-800-432-4770 FOR EXACT LOCATION OF BURIED UTILITIES PRIOR TO EXCAVATION OPERATIONS.

CALL BEFORE YOU DIG...
1-800-432-4770
UTILITIES PROTECTION CENTER
IT'S THE LAW



HANLEX CIVIL, LLC
1000 COLOR PLACE
APOPKA, FL 32719
P: (407) 410-0470
F: (407) 410-0351
COA: 29910

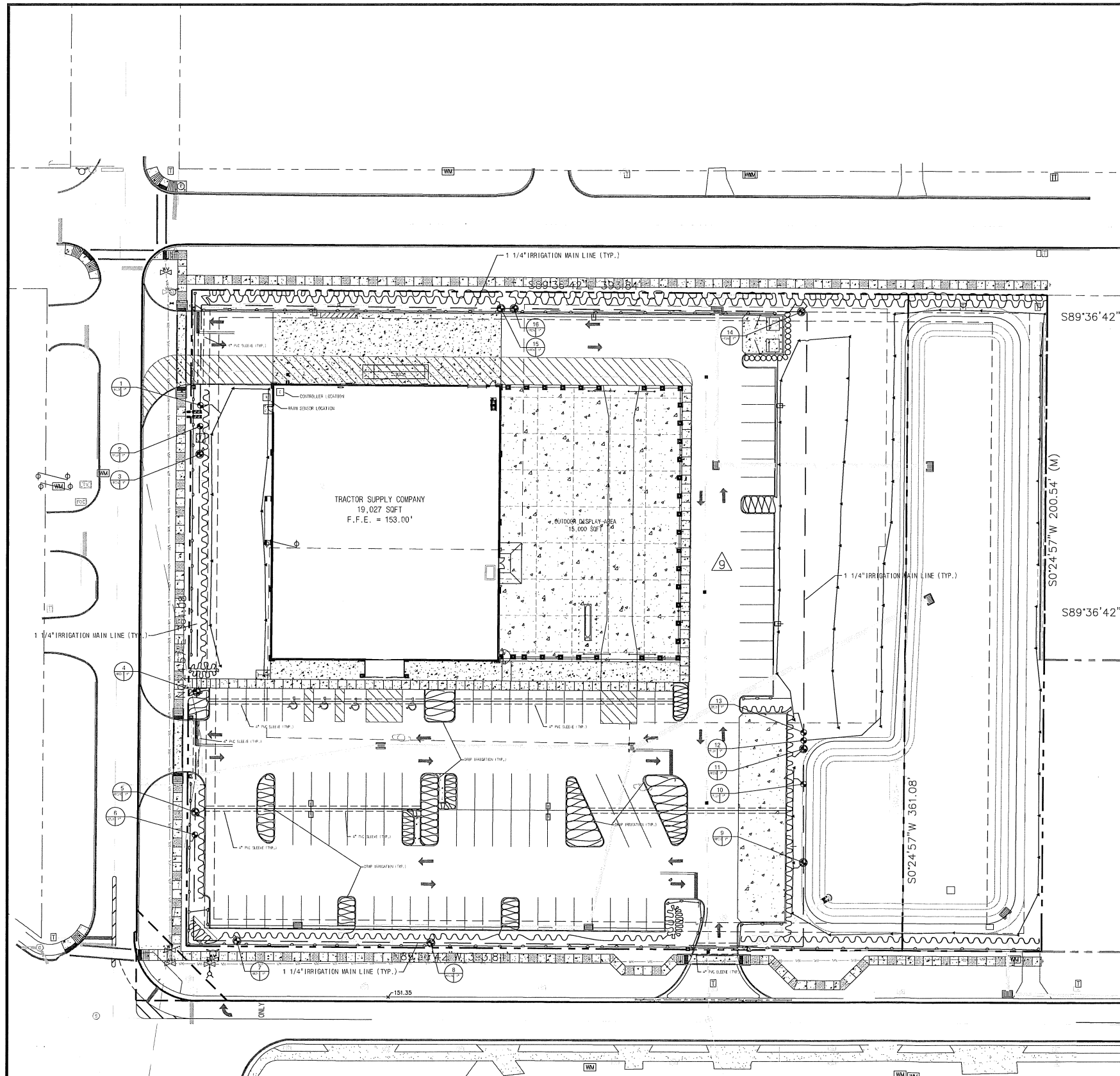
REVISED/ISSUE:	
DATE:	
NO.:	



ENGINEER'S NAME & PER
RICK ABT
FLORIDA R.L.#1321

PROJECT # 215.016
DATE 02/18/2016
SCALE 1:30
SHEET L1.0
LANDSCAPE PLAN

TRACTOR SUPPLY AT APOPKA



IRRIGATION NOTES:

LANDSCAPE CONTRACTOR IS TO PROVIDE AN ENTIRE IRRIGATION SYSTEM WHICH PROVIDES 100% COVERAGE OF ALL PLANT AND GRASSED AREAS WITH HEAD TO HEAD SPACING OF SPRAY HEADS. PROVIDE ALL ITEMS NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM TO INCLUDE, BUT NOT LIMITED TO CONTROLLER, VALVES, PIPING, HEADS, RISERS, BACKFLOW PREVENTER, METER, WIRING, ELECTRICAL SUPPLY. PROVIDE AS-BUILT DRAWINGS UPON COMPLETION AND PRIOR TO FINAL PAYMENT. PROVIDE A RAIN SENSOR IN A CONSPICUOUS LOCATION OPEN TO RAINFALL. COORDINATE ALL WORK AND SLEEVE LOCATIONS WITH GENERAL CONTRACTOR. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR OWNER/ARCHITECT REVIEW AND APPROVAL PRIOR TO INSTALLATION. LANDSCAPE CONTRACTOR IS TO PROVIDE AND INSTALL A SEPARATE WATER METER FOR IRRIGATION PURPOSES. LANDSCAPE CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED FOR THE INSTALLATION OF THE IRRIGATION SYSTEM.

IRRIGATION LEGEND

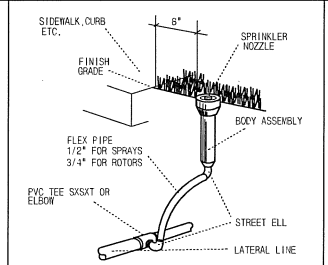
- FULL 6" POP-UP SPRAY HEAD 570-8-F
- ◐ 1/4 6" POP-UP SPRAY HEAD 570-8-Q
- ◑ 1/2 6" POP-UP SPRAY HEAD 570-8-H
- ◒ 1/3 6" POP-UP SPRAY HEAD 570-8-T
- ◓ 2/3 6" POP-UP SPRAY HEAD 570-8-TT
- ◔ 3/4 6" POP-UP SPRAY HEAD 570-8-TQ
- FULL 6" POP-UP SPRAY HEAD 570-15-F
- ◐ 1/4 6" POP-UP SPRAY HEAD 570-15-Q
- ◑ 1/2 6" POP-UP SPRAY HEAD 570-15-H
- ◒ 1/3 6" POP-UP SPRAY HEAD 570-15-T
- ◓ 2/3 6" POP-UP SPRAY HEAD 570-15-TT
- ◔ 3/4 6" POP-UP SPRAY HEAD 570-15-TQ
- ◑ CENTER STRIP SPRAY HEAD 570-4-CST
- ◑ SIDE STRIP SPRAY HEAD 570-4-SST
- ◑ END STRIP SPRAY HEAD 570-4-EST
- ◑ 570-15-ADJ

- DENOTES VARIABLE 6" POP-UP
- ▲ POP-UP STREAM ROTOR
- * 500 SERIES STREAM BUBBLER
- TORO PLASTIC VALVE
- TORO PLASTIC VALVE WITH PRESSURE REGULATOR AND FILTER (DRIP IRRIGATION)
- CLASS 200 PVC MAIN LINE
- CLASS 160 PVC LATERAL LINE
- PVC SLEEVE 4" IN DIAMETER
- PIPE CROSSOVER
- BACKFLOW PREVENTER
- IRRIGATION METER
- CONTROLLER LOCATION TORO MODEL # CC-P09
- RAIN SENSOR LOCATION

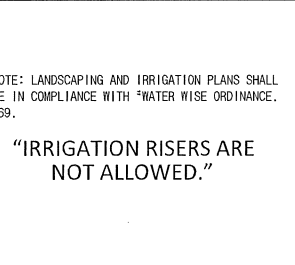
- ### VALVES
- 254-06-03 3/4" VALVES
 - 252-06-04 1" VALVES
 - 252-25-06 1.5" VALVES
- NOTE: MODEL NOS. SHOWN REFLECT TORO SPRINKLER HEADS. ANY HEADS OF EQUAL QUALITY MAY BE USED WITH THE APPROVAL OF THE OWNER. CONTRACTOR TO SIZE ALL LATERAL LINES AND INSURE THE PERFORMANCE OF ALL HEADS.

LEGEND

- 1. FINISH GRADE
- 2. SIDEWALK, CURB, ETC.
- 3. FINISH GRADE
- 4. FLEX PIPE 1/2" FOR SPRAYS, 3/4" FOR ROTORS
- 5. PVC TEE, SXSAT OR ELBOW
- 6. SPRINKLER NOZZLE
- 7. BODY ASSEMBLY
- 8. STREET ELL
- 9. LATERAL LINE



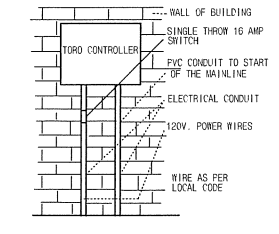
① DRIP IRRIGATION DETAIL NTS



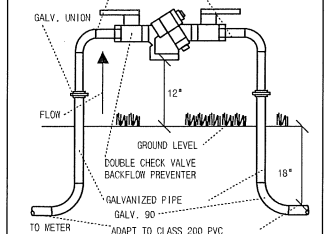
② HEAD DETAIL NTS

NOTE: LANDSCAPING AND IRRIGATION PLANS SHALL BE IN COMPLIANCE WITH "WATER WISE ORDINANCE 2069."

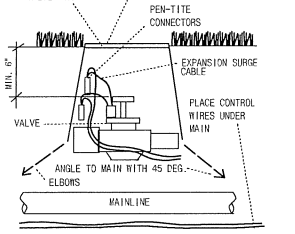
"IRRIGATION RISERS ARE NOT ALLOWED."



③ CONTROLLER DETAIL NTS



④ BACKFLOW PREVENTER NTS



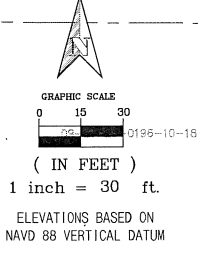
⑤ ELECTRIC VALVE DETAIL NTS

JURISDICTIONAL NOTES: ALL EQUIPMENT (INCLUDING ROOF TOP) AND UTILITY BOXES MUST BE FULLY SCREENED. (INCLUDING BACK OF BUILDING) TREES MEASURED AT DIAMETER AT BREAST HEIGHT (D.B.H.) HEDGE ROW SHALL BE PLACED TO THE REAR OF THE 10 F.T. LANDSCAPE BUFFER. MULCH SHOULD NOT EXTEND BEYOND DRIP LINE OF THE PLANTS AND TREES.

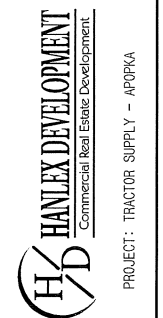
LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARD

BURIED UTILITIES NOTE
BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD SURVEY. OTHER BURIED UTILITIES MIGHT EXIST ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION DURING EXCAVATION PROCEDURES AND CONTACT SURVEYOR AT 1-800-432-4770 FOR EXACT LOCATION OF BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.

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UTILITIES PROTECTION CENTER
IT'S THE LAW



RICK ABT
252 KINGS HWY.
DECATUR, GA 30030
404-909-2736



PROJECT #	215.016
DATE	02/18/2016
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SHEET	L2.0

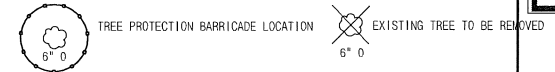
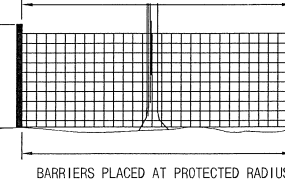
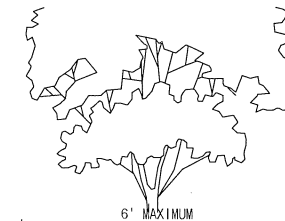
RICK ABT
252 KINGS HWY.
DECATUR, GA 30030
404-909-2736

IRRIGATION PLAN

TRACTOR SUPPLY AT APOPKA

TREE PROTECTION NOTES

- DURING CONSTRUCTION, PROTECTIVE BARRIERS SHALL BE PLACED BY SITE CONTRACTOR TO PREVENT DESTRUCTION OF TREES WHICH ARE DESIGNATED TO REMAIN. PROTECTION BARRIERS SHALL BE ERECTED PRIOR TO CONSTRUCTION OF ANY KIND ON THE SITE.
- BARRIERS SHALL CONSIST OF PROTECTIVE WOODEN POSTS TWO (2) INCHES BY FOUR (4) INCHES OR LARGER PLANTED IN SUFFICIENT DEPTH TO BE STABLE WITH AT LEAST FOUR (4) FEET OF POST VISIBLE ABOVE THE GROUND. POSTS SHALL BE PLACED NO CLOSER THAN FIVE (5) FEET TO THE TRUNK UNLESS PROPOSED PAVING CONSTRUCTION WILL NOT PERMIT. POSTS SHALL BE NO FURTHER THAN SIX (6) FEET APART. REFER TO TREE PROTECTION BARRIER DETAIL. EACH SECTION SHALL BE LINKED TOGETHER WITH ORANGE POLYPROPYLENE NET FENCE MATERIAL.
- PROPOSED GRADES AROUND TREES TO REMAIN SHALL BE MAINTAINED TO WITHIN FOUR (4) INCHES OF THE EXISTING GRADE.
- THE CONTRACTOR SHALL FOLLOW TREE REMOVAL, TREE PROTECTION AND GENERAL PLANTING PRACTICES, AS DEFINED BY LOCAL JURISDICTION.
- PROTECTIVE BARRIERS SHALL REMAIN IN PLACE AND INTACT UNTIL SUCH TIME AS CONSTRUCTION IS COMPLETE AND ALL EQUIPMENT IS REMOVED FROM SITE.
- NO BUILDING MATERIALS SUCH AS MACHINERY OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE PROTECTIVE BARRIER ZONES.
- BARRIERS SHALL BE PLACED AT THE TREE CANOPY LINE EXCEPT ADJACENT TO THE PROPERTY CONSTRUCTION AREA WHERE IT MAY BE AT ONE HALF OF THE CANOPY DISTANCE ON ONE SIDE ONLY.



① TREE BARRIER DETAIL

EXISTING TREES TO BE REMOVED

TREE SIZE	TOTAL # OF TREES	TOTAL INCHES
6 INCH - OAK	2	12"
10 INCH - OAK	1	10"
12 INCH - OAK	3	36"
16 INCH - OAK	5	80"
17 INCH - OAK	1	17"
18 INCH - OAK	2	36"
19 INCH - OAK	1	19"
20 INCH - OAK	1	20"
22 INCH - OAK	2	44"
24 INCH - OAK	2	48"
28 INCH - OAK	1	28"
36 INCH - OAK	1	36"
38 INCH - OAK	1	38"
GRAND TOTAL TREES TO BE REMOVED	= 23	424"

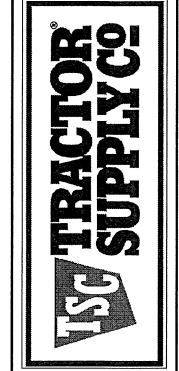
EXISTING TREES TO REMAIN

TREE SIZE	TOTAL # OF TREES	TOTAL INCHES
12 INCH - OAK	1	12"
18 INCH - OAK	1	18"
22 INCH - OAK	1	22"
36 INCH - OAK	2	72"
42 INCH - OAK	1	42"
16 INCH - CEDAR	1	16"
GRAND TOTAL TREES REMAIN	= 7	182"

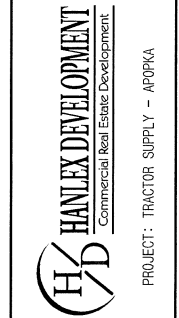
TREE BANK MITIGATION FEE = \$10 PER INCH PRESENTLY SHORT 170" TOTAL FEE = \$1,700.00

TOTAL TREE INCHES ON-SITE= 606"
 TOTAL NUMBER OF SPECIMEN TREES ON-SITE= 8
 TOTAL NUMBER OF SPECIMEN TREES REMOVED= 5
 TOTAL NUMBER OF SPECIMEN TREE INCHES RETAINED= 130"
 TOTAL NUMBER OF SPECIMEN TREE INCHES REMOVED= 150"
 TOTAL NUMBER OF NON-SPECIMEN TREE INCHES REMOVED= 274"
 TOTAL NUMBER OF NON-SPECIMEN TREE INCHES RETAINED= 52"
 TOTAL NUMBER OF TREE INCHES RETAINED= 182"
 TOTAL NUMBER OF TREE INCHES REMOVED= 424"
 424" TOTAL INCHES REMOVED - 182" RETAINED = 242"
 242" - PROPOSED TREES 2.5" X 67 = 167.5" / 2.0" X 38 = 76" / 167.5" + 76" = 243.5"
 242" - 243.5"(PROPOSED TREES) = -1.5" (REQUIREMENT MET.)

SITE CLEARING AREA IN SQUARE FEET AND ACRES.
 THE DISTURBED ON SITE ACREAGE IS 170,010 SF (3.9 ACRES)

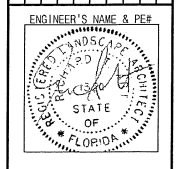


NTS

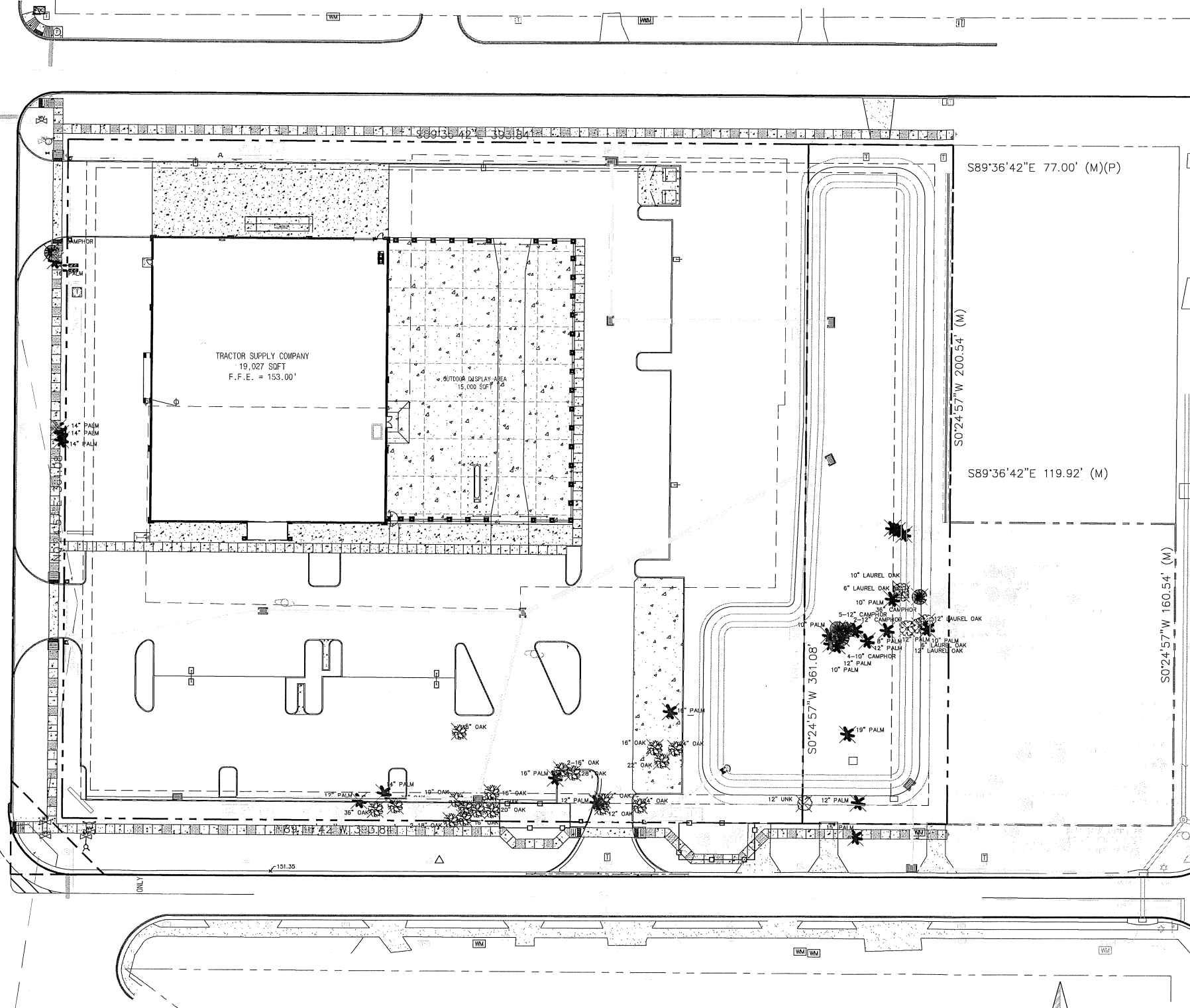


1900 COLONY PLACE
 APOPKA, FL 32703
 P: (407) 410-6470
 F: (407) 410-0351
 GSA: 29919

REV.	DATE	DESCRIPTION

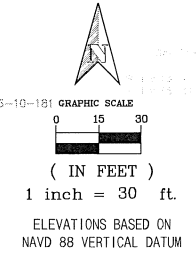


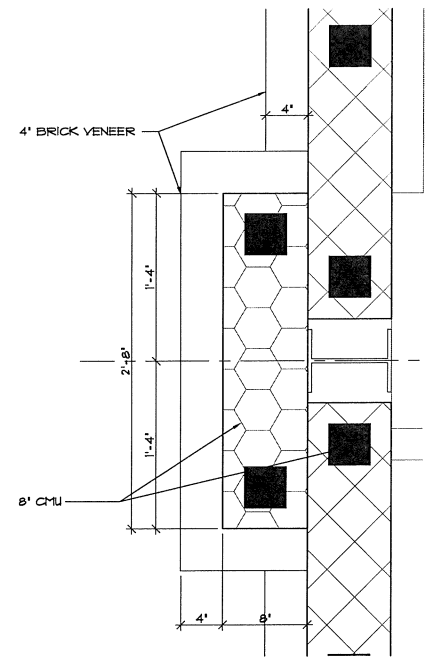
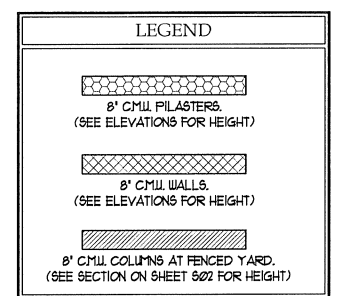
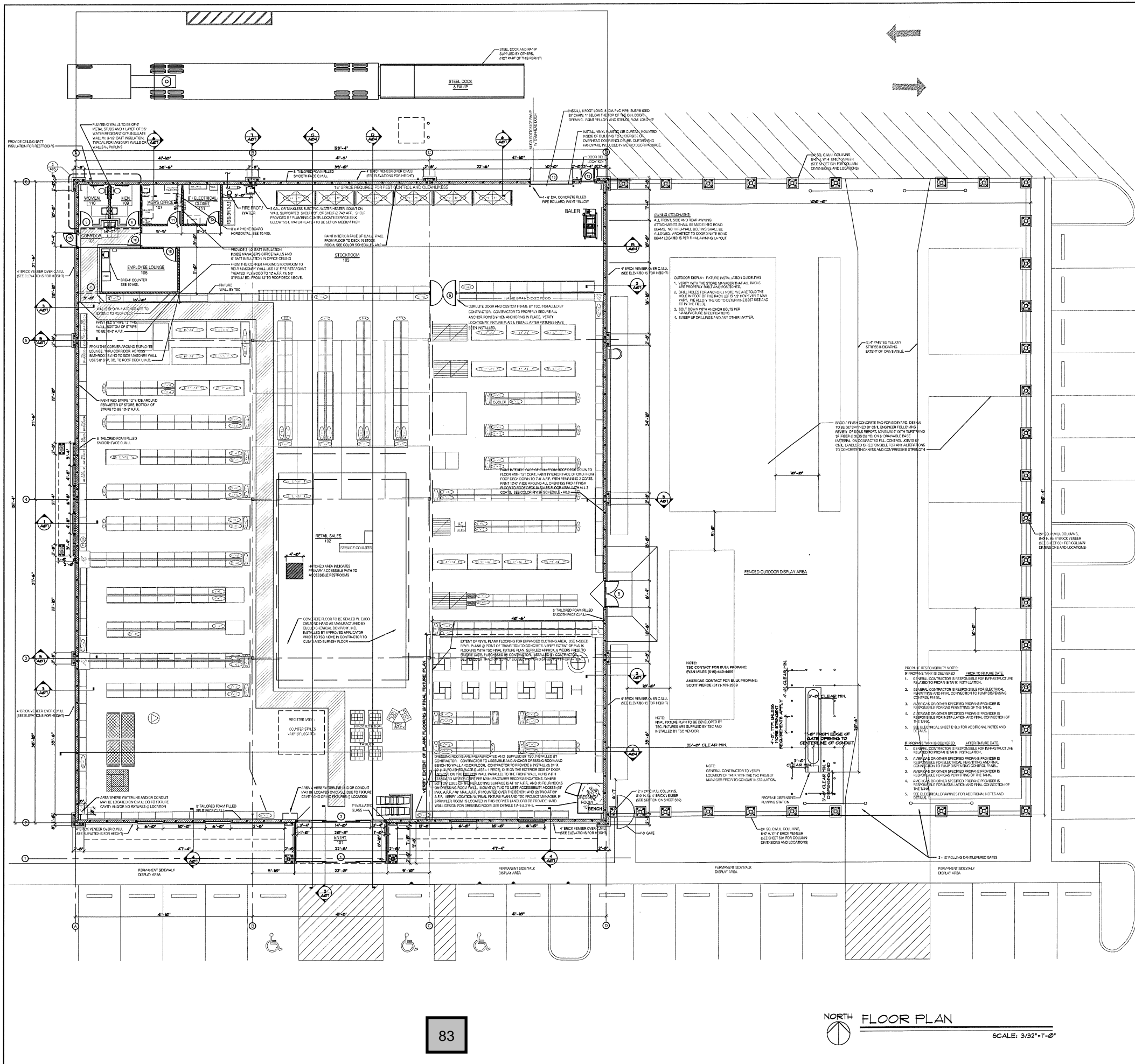
RICK ABT
 FLORIDA RLA #1321
 PROJECT # 215.016
 SHEET L3.0
 DATE 02/18/2016
 SCALE 1:30
 TREE DEMO PLAN



LANDSCAPE AND IRRIGATION DESIGN
 I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARD

BURIED UTILITIES NOTE
 09-21-28-0196-10-181
 CALL BEFORE YOU DIG...
 1-800-432-4770
 UTILITIES PROTECTION CENTER
 IT'S THE LAW





ENLARGED COLUMN DETAIL
SCALE: 1-1/2" = 1'-0"

NORTH FLOOR PLAN
SCALE: 3/32" = 1'-0"

REVISIONS	PROJECT NO.	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		

FLOOR PLAN

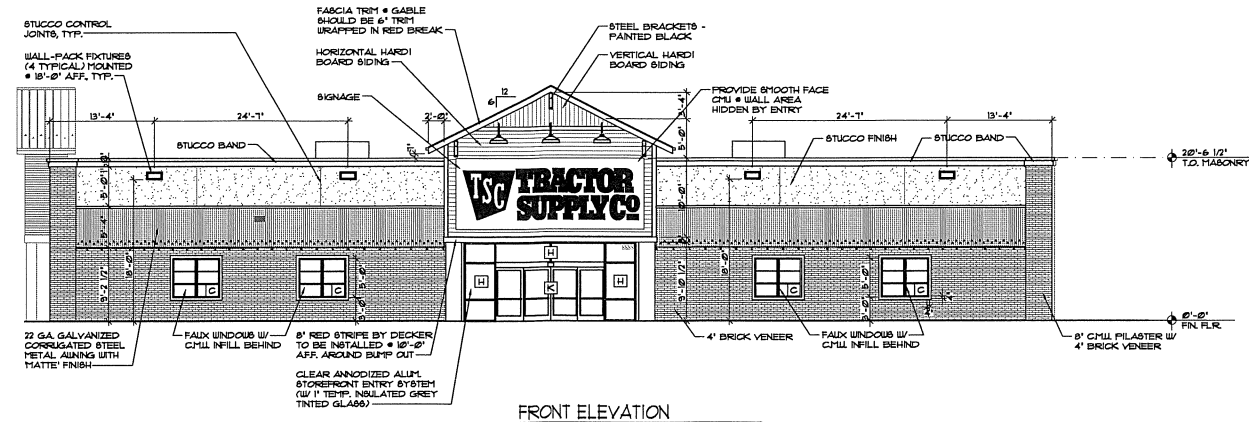
PROPOSED NEW LOCATION FOR:
TRACTOR SUPPLY CO.
180 WEST 1ST STREET
APOKA, FLORIDA

AA26002490
RABITS & ROMANO ARCHITECTURE
PLANNING AND DESIGN
5127 SOUTH ORANGE AVE.
SUITE 110 ORLANDO, FL 32809
TEL: 407-490-0330
FAX: 407-232-6000
info@rabi-architect.com
www.rabi-architect.com

SIGN/SEAL

DATE

SHEET
A01
OF

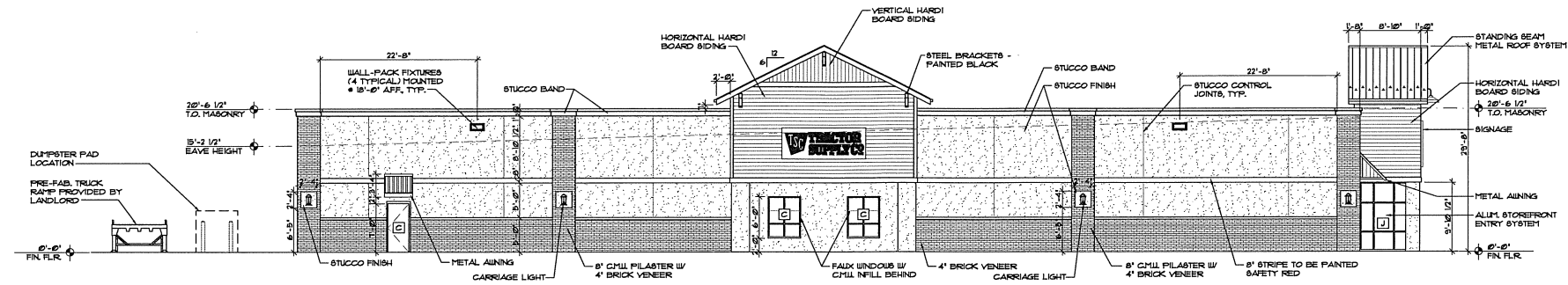


FRONT ELEVATION
SCALE 3/32" = 1'-0"

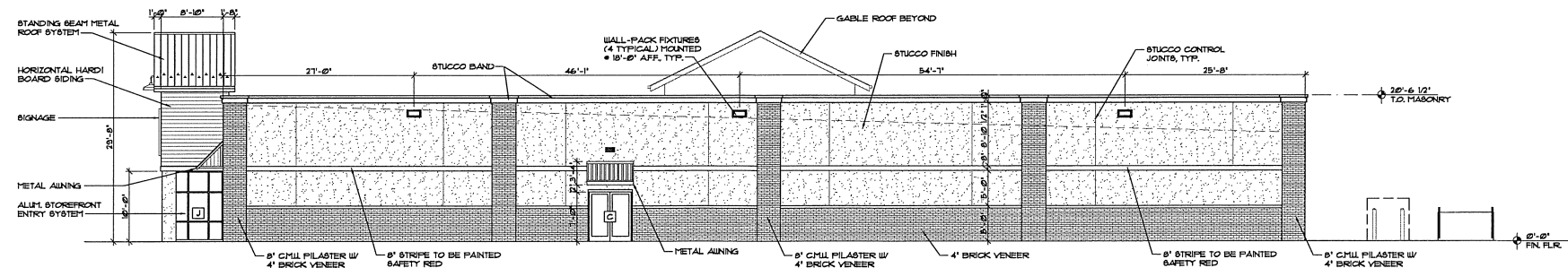
140 M.P.H.
WIND PRESSURE TABLE

	WINDOW AREA IN SQ. FT.	POSITIVE	NEGATIVE
A	0' - 10'	35.3	-30.2
B	10' - 20'	33.1	-36.7
C	20' - 50'	31.6	-34.6
D	50' - 100'	30.0	-33.0
E	100' - 500'	26.3	-29.3
F	0' - 10'	35.3	-47.2
G	10' - 20'	33.1	-44.0
H	20' - 50'	31.6	-39.8
J	50' - 100'	30.0	-36.7
K	100' - 500'	26.3	-29.3

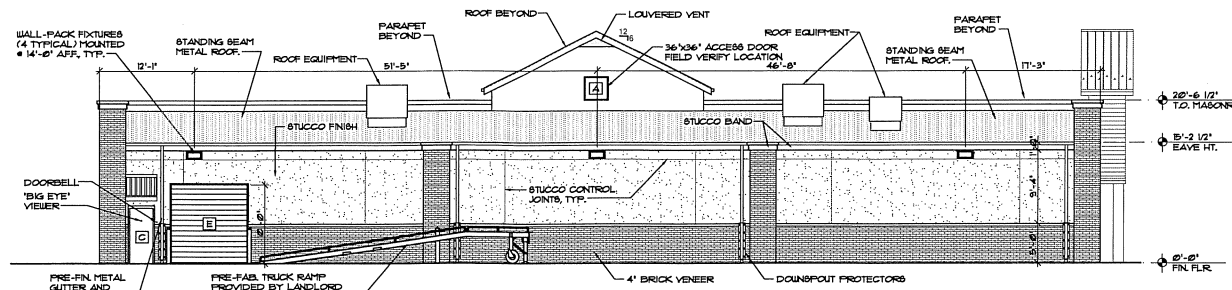
WITHIN 3'-0" OF A CORNER



LEFT SIDE ELEVATION
SCALE 3/32" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 3/32" = 1'-0"



REAR ELEVATION
SCALE 3/32" = 1'-0"

REVISIONS	PROJECT NO.	DATE
1		
2		
3		
4		
5		
6		
7		
8		

EXTERIOR ELEVATIONS

PROPOSED NEW LOCATION FOR:
TRACTOR SUPPLY CO.
180 WEST 1ST STREET
AOPKA, FLORIDA

RABITS & ROMANO
ARCHITECTURE
PLANNING AND DESIGN
AA26002490
info@rabits-architect.com
www.rabitsarchitect.com
5127 SOUTH ORANGE AVE.
ORLANDO, FL 32809
TEL - 407-490-0330
FAX - 407-232-6000

SIGN/SEAL

DATE

SHEET
A02
OF

PROJECT DIRECTORY

DEVELOPER: HANLEX FIRST STREET, LLC
1000 COLOR PLACE
APOPKA, FL 32703
PHONE: (407) 889-9400
FAX: (407) 889-8328

CIVIL ENGINEER: HANLEX CIVIL, LLC
1000 COLOR PLACE
APOPKA, FL 32703
PHONE: (407) 889-9400
FAX: (407) 889-8328

GEOTECH ENGINEER: PROFESSIONAL SERVICE INDUSTRIES, INC.
1748 33RD STREET
ORLANDO, FL 32839
PHONE: (407) 304-5560
FAX: (407) 304-5561

SURVEYOR: L & S DIVERSIFIED
405 LAKE HOWELL ROAD SUITE 1001
MAITLAND, FLORIDA, 32751
PHONE: (407) 681-6541

ARCHITECT: RABITS & ROMANO ARCHITECTURE
5127 S. ORANGE AVENUE SUITE 10
ORLANDO, FLORIDA 32809
PHONE: (407) 490-0350
FAX: (407) 232-6000

PRELIMINARY DEVELOPMENT PLAN

TRACTOR SUPPLY COMPANY AT APOPKA
180 W. 1st STREET
APOPKA, FL 32703

PARCEL # 09-21-28-0196-10-040,
09-21-28-0196-10-064, & 09-21-28-0196-10-122

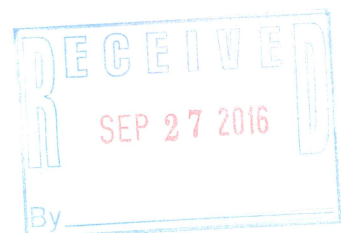
PLAN SHEET INDEX

CO.0	COVER SHEET
	SURVEY
	ARCHITECTURAL ELEVATIONS
	ARCHITECTURAL FLOOR PLAN
C1.0	GEOMETRY PLAN
C1.1	TRUCK MOVEMENT
C2.0	DRAINAGE PLAN
C3.0	UTILITY PLAN
CP1.0	PHOTOMETRIC PLAN
L1.0	LANDSCAPE PLAN
L2.0	IRRIGATION PLAN
L3.0	TREE DEMOLITION PLAN



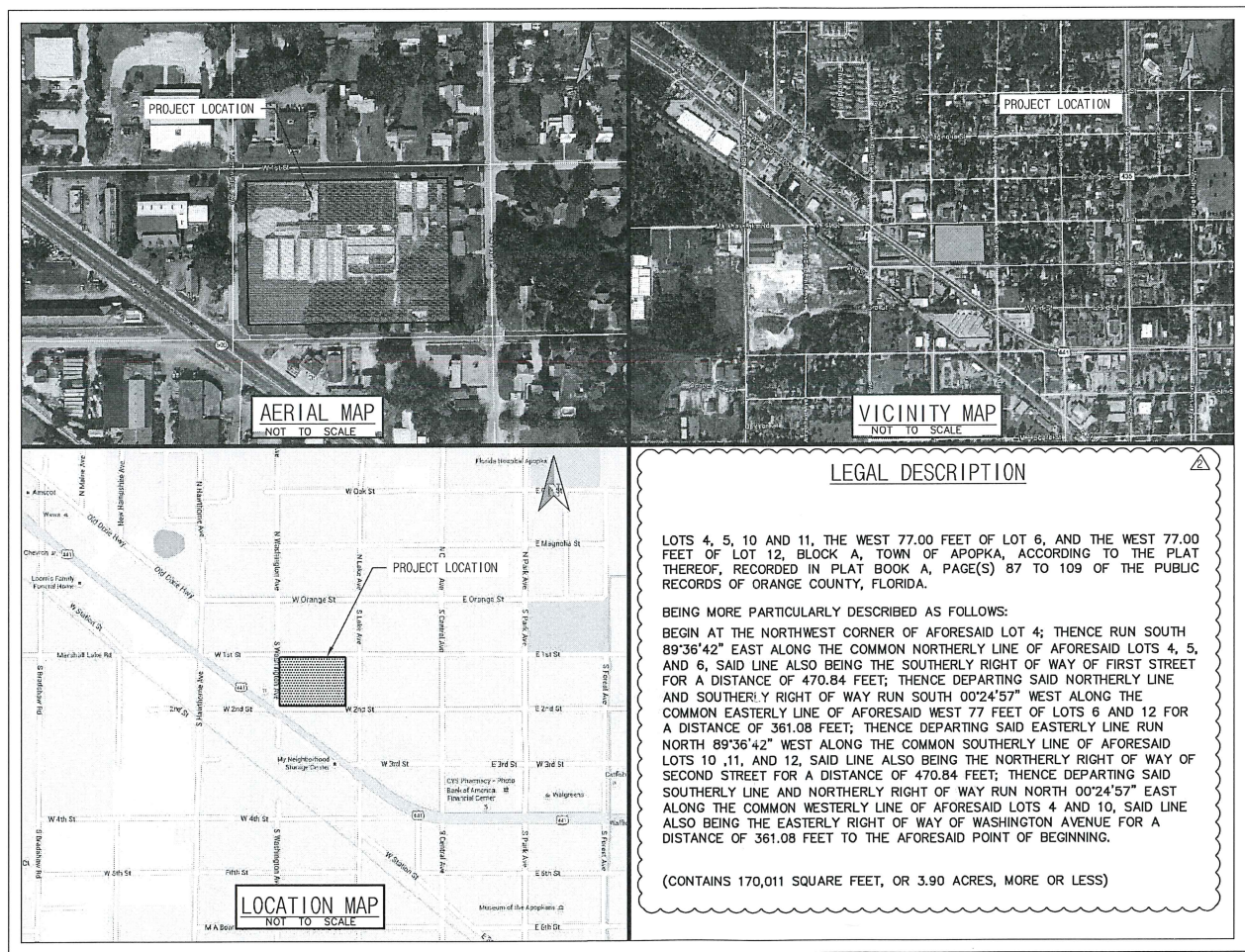
HANLEX DEVELOPMENT
Commercial Real Estate Development
PROJECT: TRACTOR SUPPLY - APOPKA

HANLEX CIVIL, LLC
1000 COLOR PLACE
APOPKA, FL 32703
P: (407) 419-9470
F: (407) 419-8351
CAL: 28910



GENERAL REVISION LOG

NO:	DATE:	REVISION/ISSUE:	SHEETS REVISED	BY:
1	08-04-16	CITY OF APOPKA COMMENTS	C1.0, C2.0, C3.0	FB
2	09-02-16	CITY OF APOPKA 2ND DRC COMMENTS	C1.0, C2.0, C3.0	FB
3	09-22-16	CITY OF APOPKA 3RD DRC COMMENTS	C1.0, C2.0, C3.0	FB
4				
5				
6				
7				
8				



UTILITY PROVIDERS

POWER: DUKE ENERGY
452 E CROWN POINTE ROAD
WINTER GARDEN, FL 33787
CONTACT: SHARON DEAR
P: (407) 905-3321

WATER: CITY OF APOPKA
748 E CLEVELAND STREET
APOPKA, FL 32703
CONTACT: BRIAN BISHOP
P: (407) 703-1685

SEWER: CITY OF APOPKA
748 E CLEVELAND STREET
APOPKA, FL 32703
CONTACT: BRIAN BISHOP
P: (407) 703-1685

TELEPHONE: CENTURY LINK
33 N. MAIN STREET ROOM 144
WINTER GARDEN, FL 34787
P: (407) 814-5293

CABLE TELEVISION: BRIGHT HOUSE NETWORKS
3767 ALL AMERICAN BLVD
ORLANDO, FL 32810
CONTACT: MARVIN USRY
P: (407) 532-8509

GAS: LAKE APOPKA NATURAL GAS DISTRICT
1320 WINTER GARDEN - VINELAND RD
WINTER GARDEN, FL 34778
CONTACT: ALEX WOSGIEN
P: (407) 656-2734

LEGEND:

- # : NO. OF PARKING SPACES
- # / CX.X : DETAIL NO. / SHEET
- [Pattern] : HEAVY DUTY ASPHALT PAVEMENT
- [Pattern] : PROPOSED CONCRETE SURFACE
- W : WATER LINE
- UGE : ELECTRIC LINE
- SS : WASTEWATER LINE
- UGT : TELEPHONE LINE
- [Symbol] : FIRE HYDRANT
- [Symbol] : VALVE
- [Symbol] : WATER METER
- [Symbol] : BACKFLOW PREVENTER WITH CONCRETE PAD
- 75.40 : SPOT ELEVATION (TO TOP OF PAVEMENT UNLESS SPECIFIED OTHERWISE)
- [Symbol] : FLOW ARROW
- # : REVISION NUMBER
- [Symbol] : FIRE DEPARTMENT CONNECTION

VARIANCE (V) / WAIVER (W) TABLE

CODE #	CODE REQUIREMENT	(V/W)	REQUEST	JUSTIFICATION
8.08.03	50' SIGN SETBACK	V	ALLOWING SIGN WITHIN THE 50' SIGN SETBACK	SIGHT VISIBILITY FROM ROW
8.04.02.D	SIX FEET MAXIMUM SIGN HEIGHT	V	TEN FOOT SIGN HEIGHT FOR SIGN AT CORNER	SIGHT VISIBILITY FROM ROW
6.03.02	NUMBER OF PARKING STALLS	W	REDUCTION IN PARKING STALLS	EXCEEDS REQUIRED STALLS FOR TRACTOR SUPPLY (SEE SUBMITTED TRAFFIC STUDY)

NO:	DATE:	REVISION/ISSUE:	ENGINEER'S NAME & FE#
1	08-04-16	CITY OF APOPKA COMMENTS	
2	09-02-16	CITY OF APOPKA 2ND DRC COMMENTS	
PROJECT # 215_016 SHEET 02/18/2016 SCALE NTS COVER SHEET			

TRACTOR SUPPLY AT APOPKA

SITE SPECIFIC INFORMATION

PARCEL NUMBER: 09-21-28-0196-10-040
PROPERTY AREA: ± 3.24 ACRES
EXISTING USE: CONTAINER NURSERY
PROPOSED USE: COMMERCIAL (TRACTOR SUPPLY COMPANY)

ZONING CLASSIFICATION:
 PROJECT: C-2 (COMMERCIAL)
 ADJACENT (N): P0/5 (PROFESSIONAL OFFICE)
 ADJACENT (E): C-2 (COMMERCIAL)
 ADJACENT (W): C-2 (COMMERCIAL)
 ADJACENT (S): C-2 (COMMERCIAL)

PARKING REQ.:
 1 SPACE PER 300 SF OF GFA
 19,027 SF = 64 SPACES
 TOTAL = 64 REQUIRED

PARKING PROVIDED:
 87 (REGULAR) + 4 (HANDICAP) = 91 (TOTAL)

BUILDING SETBACKS:
REQUIRED: FRONT: 15', SIDE: 30', REAR: 15', CORNER: 15'
PROPOSED: FRONT: 15', SIDE: 300', REAR: 51.6', CORNER: 45'

LANDSCAPE BUFFER:
REQUIRED: FRONT: 10', SIDE: 10', REAR: 10', CORNER: 10'
PROPOSED: FRONT: 10', SIDE: 10', REAR: 10', CORNER: 10'

MAX. BUILDING HEIGHT: **REQUIRED:** 35', **PROPOSED:** 30'

MAX. FLOOR AREA RATIO: **REQUIRED:** 0.50, **PROPOSED:** 0.11

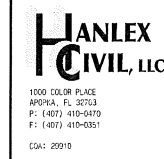
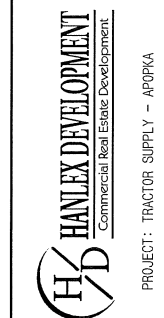
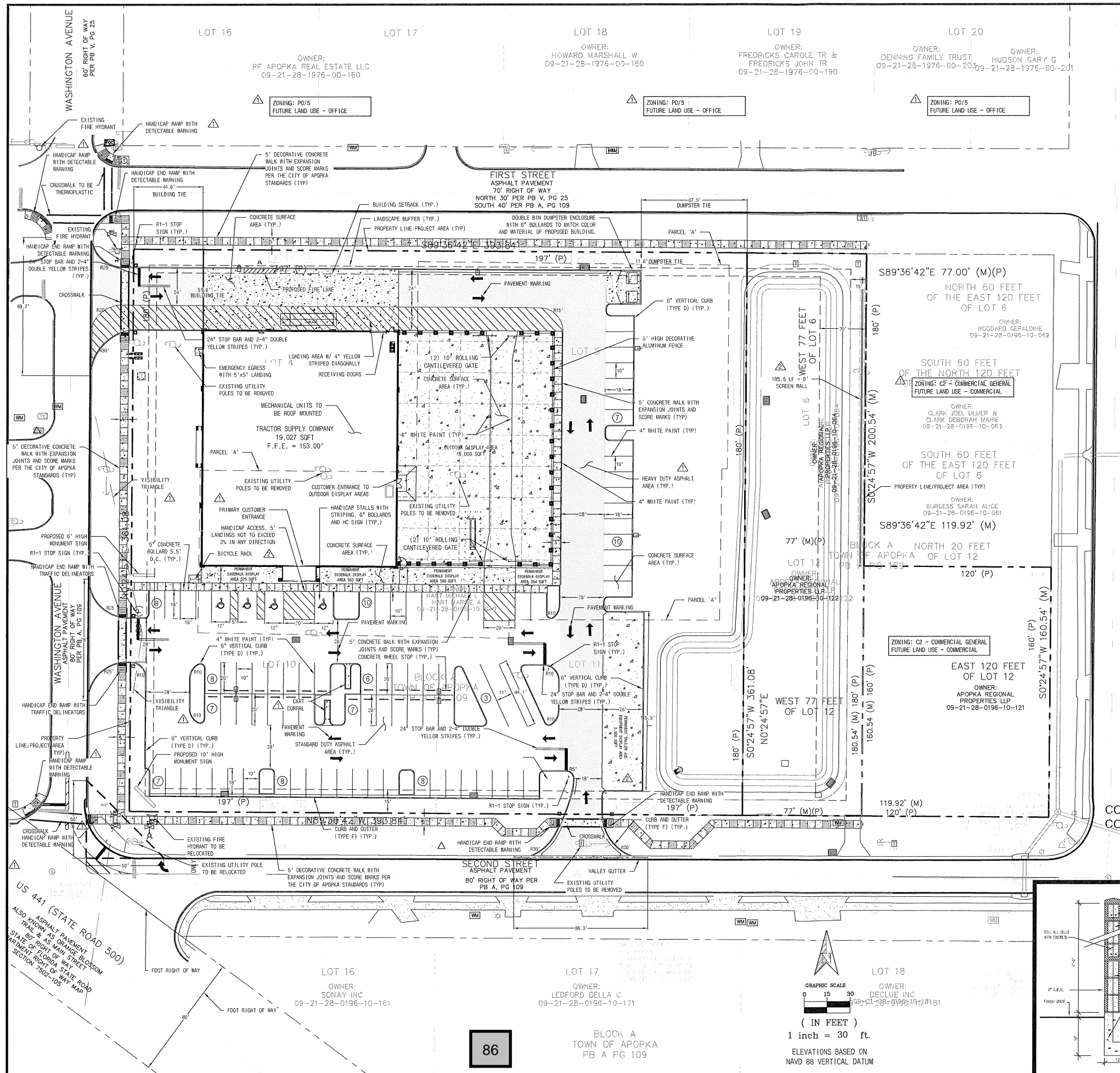
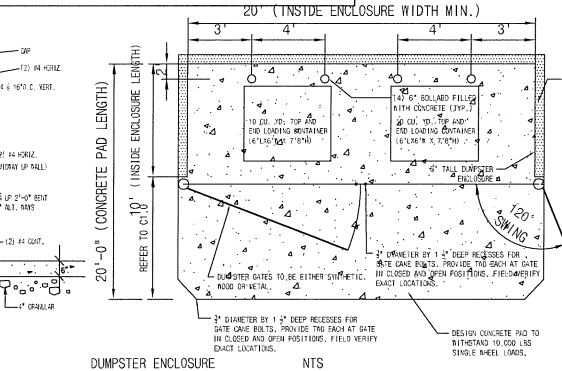
GROSS FLOOR AREA: ± 19,027

FEMA:
 THE SUBJECT PROPERTY LIES IN FLOOD ZONE X, ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL 205 OF 750, MAP NUMBER 12095C0120F FOR INDIAN RIVER COUNTY, FLORIDA, DATED SEPTEMBER 25, 2009. TO BE VERIFIED BY LOCAL FEMA OFFICIAL.

SITE DATA TABLE	
PARCEL ID NUMBER	09-21-28-0196-10-040
FUTURE LAND USE	COMMERCIAL
ZONING	C-2
ACREAGE/SQUARE FOOT	± 3.90 ACRES
OVERLAY DISTRICT	COMMUNITY REDEVELOPMENT AREA (CRA)
BUILDING HEIGHT	PROPOSED: 30' MAX: 35'
FLOOR AREA RATIO	PROPOSED: 14% MAX: 50%
BUILDING SETBACKS	PROPOSED: FRONT: 15' SIDE: 30' REAR: 52.5' CORNER: 15' REQUIRED: FRONT: 10' SIDE: 10' REAR: 10' CORNER: 15'
PARKING SPACES	PROVIDED: 86 (REGULAR) + 3 (HANDICAP) = 89 (TOTAL) REQUIRED: 113
TREE BANK MITIGATION FEE	\$10 PER INCH PRESENTLY SHORT 170" TOTAL FEE = \$1,700.00
HOURS OF OPERATION	8:00 am - 9:00 pm
NUMBER OF EMPLOYEES	N/A
WAVIER REQUEST	N/A
VARIANCE REQUEST	2 - SEE BELOW

VARIANCE (V) / WAIVER (W) TABLE				
CODE #	CODE REQUIREMENT	(V/W)	REQUEST	JUSTIFICATION
8.04.02.E	TWO FREE STANDING SIGNS ALLOWED FOR TWO FRONTAGES	Y	THIRD FREESTANDING SIGN	SITE BORDERS THREE BIGHT-OF-WAYS
8.04.02.D	SIX FEET MAXIMUM SIGN HEIGHT	Y	TEN FOOT SIGN HEIGHT FOR SIGN AT CORNER	SIGHT VISIBILITY FROM ROH
6.03.01.H	NUMBER OF PARKING STALLS	W	REDUCTION IN PARKING STALLS	EXCEEDS REQUIRED STALLS FOR TRACTOR SUPPLY (SEE SUBMITTED TRAFFIC STUDY)

- NOTES:**
- PRIOR TO SITE CLEARING AND GRADING ACTIVITIES OCCURRING ON SITE, PROVIDE A LETTER FROM DEP FOR MITIGATION OF SITE CONDITION.
 - SHOPPING CARTS SHALL INCLUDE BUSINESS NAME AND CONTACT INFORMATION ON THE CART.
 - DETAILS OF THE PROPOSED DECORATIVE ALUMINUM FENCE WILL BE SUBMITTED WITH FINAL DEVELOPMENT PLAN.
 - DETAILS OF PROPOSED SCREEN WALL TO BE SUBMITTED WITH FINAL DEVELOPMENT PLAN.
 - THE SITE MUST BE PLATTED/PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

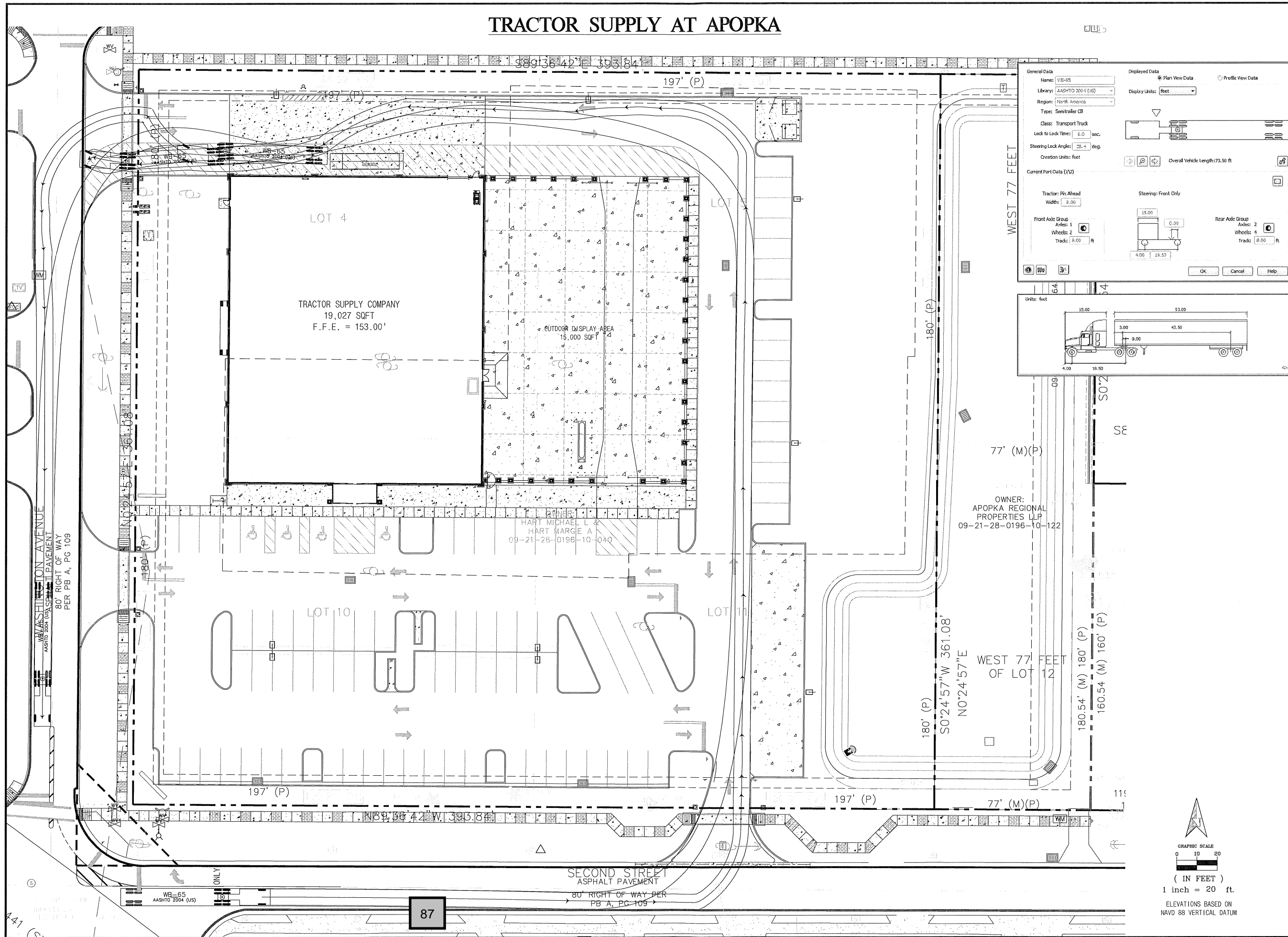


REV.	DATE	BY	CHK	DESCRIPTION
1	08-04-16	JAS	JAS	CITY OF APOPKA COMMENTS
2	09-02-16	JAS	JAS	CITY OF APOPKA AND DRC COMMENTS
3	09-22-16	JAS	JAS	CITY OF APOPKA AND DRC COMMENTS

ENGINEER'S NAME & PE#
 JASON D. BULLARD, P.E.
 P.E. LICENSE NO. 73800

PROJECT # 215.016
 SHEET 02/18/2016 C1.0
 SCALE 1:30
 GEOMETRY PLAN

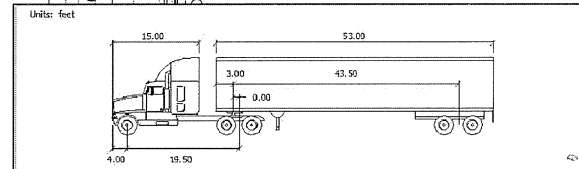
TRACTOR SUPPLY AT APOPKA



General Data
 Name: WB-65
 Library: AASHTO 2004 (US)
 Region: North America
 Type: Semi-trailer CB
 Class: Transport Truck
 Lock to Lock Time: 5.0 sec.
 Steering Lock Angle: 35.4 deg.
 Creation Units: feet
 Overall Vehicle Length: 73.50 ft

Current Port Data (1/3)
 Tractor Pin Ahead Width: 3.00
 Steering: Front Only
 Front Axle Group: Axles: 1, Wheels: 2, Trac: 8.00 ft
 Rear Axle Group: Axles: 2, Wheels: 4, Trac: 8.00 ft

Displayed Data
 Plan View Data
 Profile View Data
 Display Units: feet



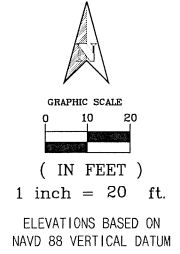
HANLEX DEVELOPMENT
 Commercial Real Estate Development

HANLEX CIVIL, LLC
 1000 COLOR PLACE
 APOPKA, FL 32703
 P: (407) 410-9470
 F: (407) 410-9351
 CMA: 22910

PROJECT: TRACTOR SUPPLY - APOPKA

NO.	DATE	REVISION/ISSUE

ENGINEER'S NAME & PE#



PROJECT # 215,016
 SHEET C1.1
 DATE 02/18/2016
 SCALE N.T.S.
 TRUCK MOVEMENT

JURISDICTIONAL NOTES: ALL EQUIPMENT (INCLUDING ROOF TOP) AND UTILITY BOXES MUST BE FULLY SCREENED. (INCLUDING BACK OF BUILDING) TREES MEASURED AT DIAMETER AT BREAST HEIGHT (D.B.H.) HEDGE ROW SHALL BE PLACED TO THE REAR OF THE 10 F.T. LANDSCAPE BUFFER. MULCH SHOULD NOT EXTEND BEYOND DRIP LINE OF THE PLANTS AND TREES.

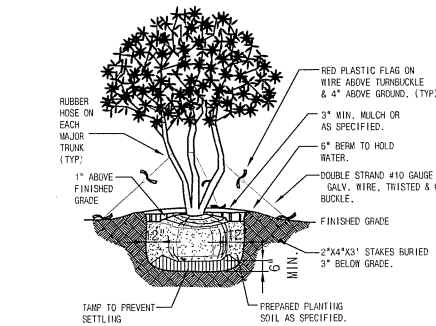
TRACTOR SUPPLY AT APOPKA

PLANT LIST

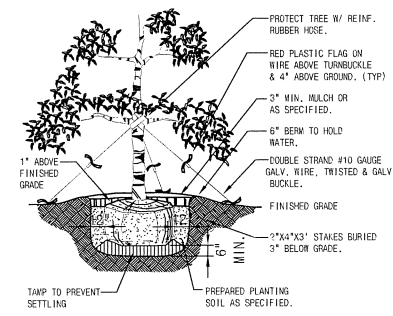
SYMBOL	BOTANICAL NAME (COMMON NAME)	MINIMUM SIZE/SPACING	DROUGHT TOLERANCE	NATIVE FLORIDA	QUANTITY
QV	QUERCUS VIRGINIANA (LIVE OAK)	6'-12' MIN. HT. 6' MIN. SPREAD, 2.5" DBH.	YES	YES	41
MG	MAGNOLIA GRANDIFLORA (SOUTHERN MAGNOLIA)	6'-12' MIN. HT. 5' MIN. SPREAD, 2.5" DBH.	YES	YES	15
TD	TAXODIUM DISTICHUM (BALD CYPRESS)	6'-12' MIN. HT. 6' MIN. SPREAD, 2.5" DBH.	YES	YES	11
LI	LAGERSTRÖMIA INDICA (CREPE MYRTLE)	7' MIN. HT., 2" CAL. SINGLE TRUNK 3' MIN. SPREAD.	YES	NO	8
IV	ILEX VOMITORIA (YALPON HOLLY)	7' MIN. HT., 2" CAL. 3' MIN. SPREAD.	YES	NO	30
LWV	LIRIOPE MUSCARI (VARIATED LIRIOPE)	12"-14" MIN. HT. 1 GAL., 24" O.C.	YES	NO	322
RI	RAPHIOLEPIS INDICA (INDIAN HARTHORNE)	12" MIN. HT. 3 GAL., 24" O.C.	YES	NO	902
LC	LOROPETALUM 'RUBRUM' (LOROPETALUM)	24" MIN. HT., 24" SPREAD 3 GAL., 30" O.C.	YES	NO	60
V03	VIBURNUM ODORATISSIMUM (SWEET VIBURNUM)	36" MIN. HT., 24" SPREAD 7 GAL., 36" O.C.	YES	NO	224
V04	VIBURNUM ODORATISSIMUM (SWEET VIBURNUM)	48" MIN. HT., 30" SPREAD 10 GAL., 42" O.C.	YES	NO	131
SOD	BAHIA	QUANTITY TO BE CALCULATED BY CONTRACTOR	YES	YES	

PLANT QUANTITY: \bigcirc 00
PLANT SYMBOL: \bigcirc XX

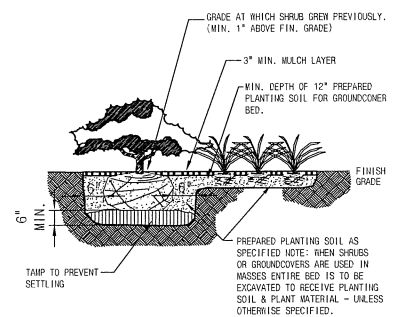
NOTE: WHERE GALLON REFERENCES MAY CONFLICT WITH HEIGHT/SPREAD AND CALIPER MEASUREMENTS, THE HEIGHT/SPREAD AND CALIPER MEASUREMENTS SHALL GOVERN.



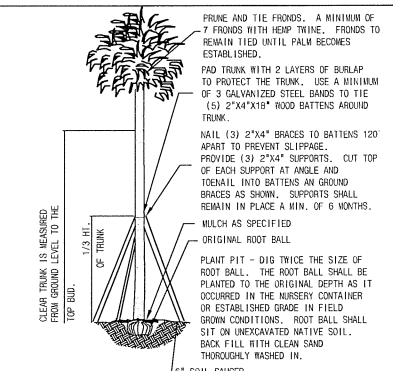
① MULTI-TRUNK DETAIL NTS



② TREE PLANTING DETAIL NTS



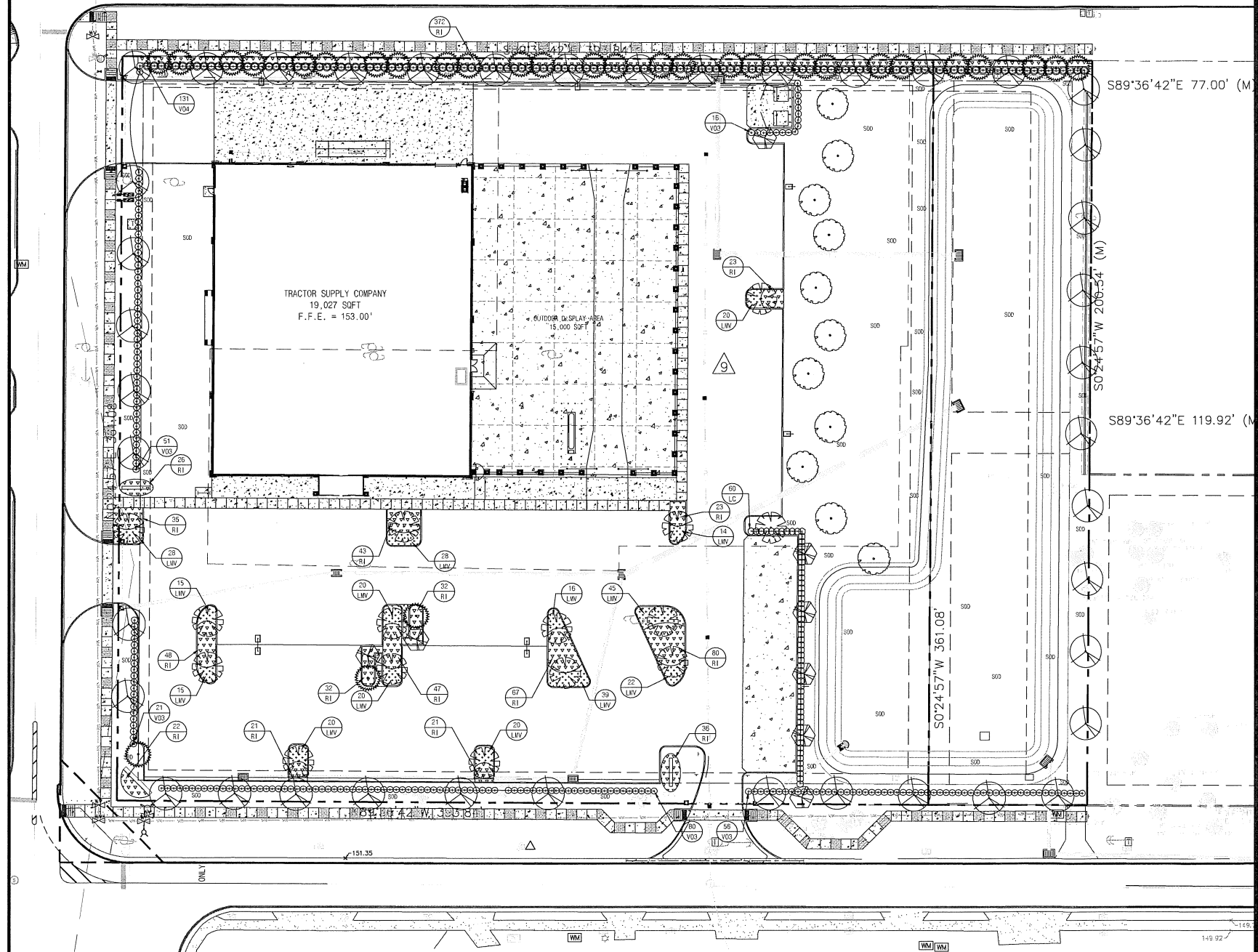
③ SHRUB AND GROUND COVER DETAIL NTS



④ PALM PLANTING DETAIL NTS

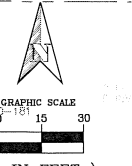
GENERAL LANDSCAPE NOTES

- ALL PLANTS TO BE FLORIDA NO. 1, OR BETTER AS OUTLINED UNDER 'GRADES AND STANDARDS FOR NURSERY PLANTS, PART 1, 1989 AND PART 8, STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, TALLAHASSEE, FLORIDA, AND ANY AMENDMENTS THERETO.
- ALL TREES AND PLANT MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS DESCRIBED IN THE STATE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF FORESTRY, "TREE PROTECTION MANUAL FOR BUILDERS AND DEVELOPERS", OCTOBER, 1980.
- THE LANDSCAPE CONTRACTOR (CONTRACTED BY OWNER, N.J.C.) SHALL BE RESPONSIBLE FOR ALL MATERIALS AND ALL WORK AS CALLED FOR ON THE LANDSCAPE PLANS. THE LIST OF PLANT QUANTITIES ACCOMPANYING THE PLANS SHALL BE USED AS A GUIDE ONLY. IF A VARIATION OCCURS BETWEEN THE PLANS AND THE PLANT LIST, THE PLANS SHALL CONTROL.
- ALL TREES, SHRUBS AND GROUND COVERS SHALL BE PLANTED USING A SOIL MIXTURE PREPARED ACCORDINGLY (2/3 EXISTING SOIL, 1/3 PEAT).
- THE LANDSCAPE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. VERTICAL DRILLING THROUGH ANY COMPACTED FILL TO NATIVE SOIL SHALL BE ACCOMPLISHED TO AID DRAINAGE.
- ALL PLANT BEDS AND TREE WATERING BASINS SHALL BE TOP DRESSED WITH THREE INCHES (3") OF SHREDED CYPRESS MULCH.
- NO TREES SHALL BE PLANTED CLOSER THAN 3 FEET (3') FROM THE EDGE OF PAVEMENT TO ALLOW ADEQUATE TREE TRUNK PROTECTION.
- LANDSCAPE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY THE INSTABILITY OF ANY PLANT MATERIAL.
- ALL LAWN AREAS TO RECEIVE SOD SHALL BE DISKED FOUR(4) TO SIX(6) INCHES AND DRAGGED TO ESTABLISH A LEVEL FINISH GRADE. ALL DEBRIS TO BE REMOVED FROM THE SITE.
- SOD SHALL BE FREE OF WEEDS AND PESTS. IT SHALL BE LAID EVENLY AND ROLLED WITH 100% COVERAGE. BACKFLOW PREVENTOR & RAIN SENSOR DEVICE.
- DIRECT SPRAY HEADS AWAY FROM ANY NATURAL AREAS AND PAVED SURFACES.
- THE TREE CALIPER OF ALL CANOPY TREES SPECIFIED ON THE PLANT LIST SHALL BE MEASURED AT SIX (6) INCHES ABOVE GRADE.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC., WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.



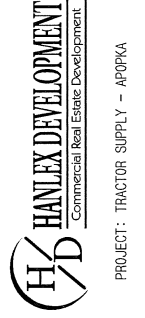
LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

BURIED UTILITIES NOTE
BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD SURVEY. OTHER BURIED UTILITIES NOT SHOWN ON THIS DRAWING USE EXTREME CAUTION. BURIAL DEPTH IS NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION. CALL BEFORE YOU DIG... 1-800-432-4770 UTILITIES PROTECTION CENTER IT'S THE LAW



(IN FEET)
1 inch = 30 ft.
ELEVATIONS BASED ON NAVD 88 VERTICAL DATUM

RICK ABT
252 KINGS HWY.
DECATUR, GA 30030
404-909-2736



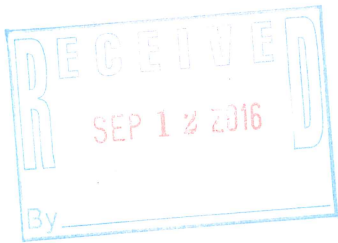
HANLIX CIVIL, LLC
1000 COLOR PLACE
APOPKA, FL 32733
P: (407) 410-5470
F: (407) 410-0851
CAM: 299/0

ENGINEER'S NAME & FE#
RICK ABT
FLORIDA #1321
PROJECT # 215,016
DATE 02/18/2016
SCALE 1:30
SHEET L1.0

LANDSCAPE PLAN







MEMORANDUM

September 7, 2016

**Re: Tractor Supply Company
Parking Supply Review
Project № 16-004.1**

Introduction

The following Parking Supply Review was conducted for the proposed Tractor Supply Company store located at the northwest corner of the intersection US 441 and 2nd Street in the City of Apopka, as illustrated in **Figure 1** below. The review consists of an inventory of existing similar stores and the parking ratios provided at those locations as compared with the proposed parking supply at the subject Apopka location.

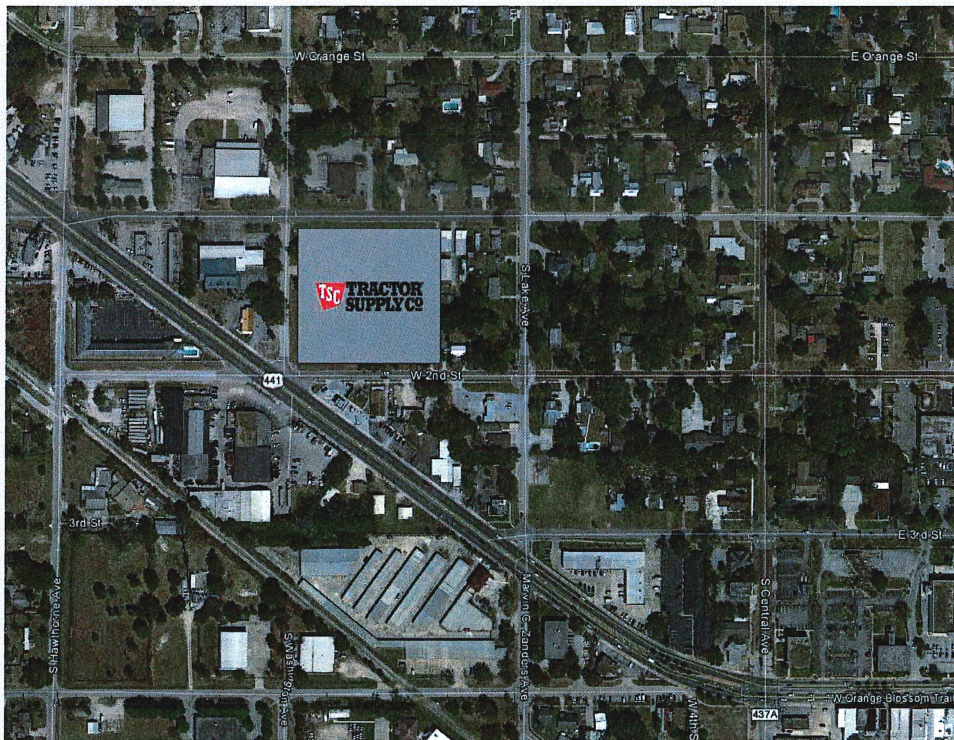


Figure 1 – Site Location

Proposed Development

The proposed project is a 19,027 square foot building with an outdoor display area of 15,000 square feet, as illustrated in **Figure 2**. The site provides a total of 91 parking spaces located south and west of the building. At typical Tractor Supply Company stores, the primary display area is within the building structure, while large items and outdoor goods are displayed in the outdoor display area.

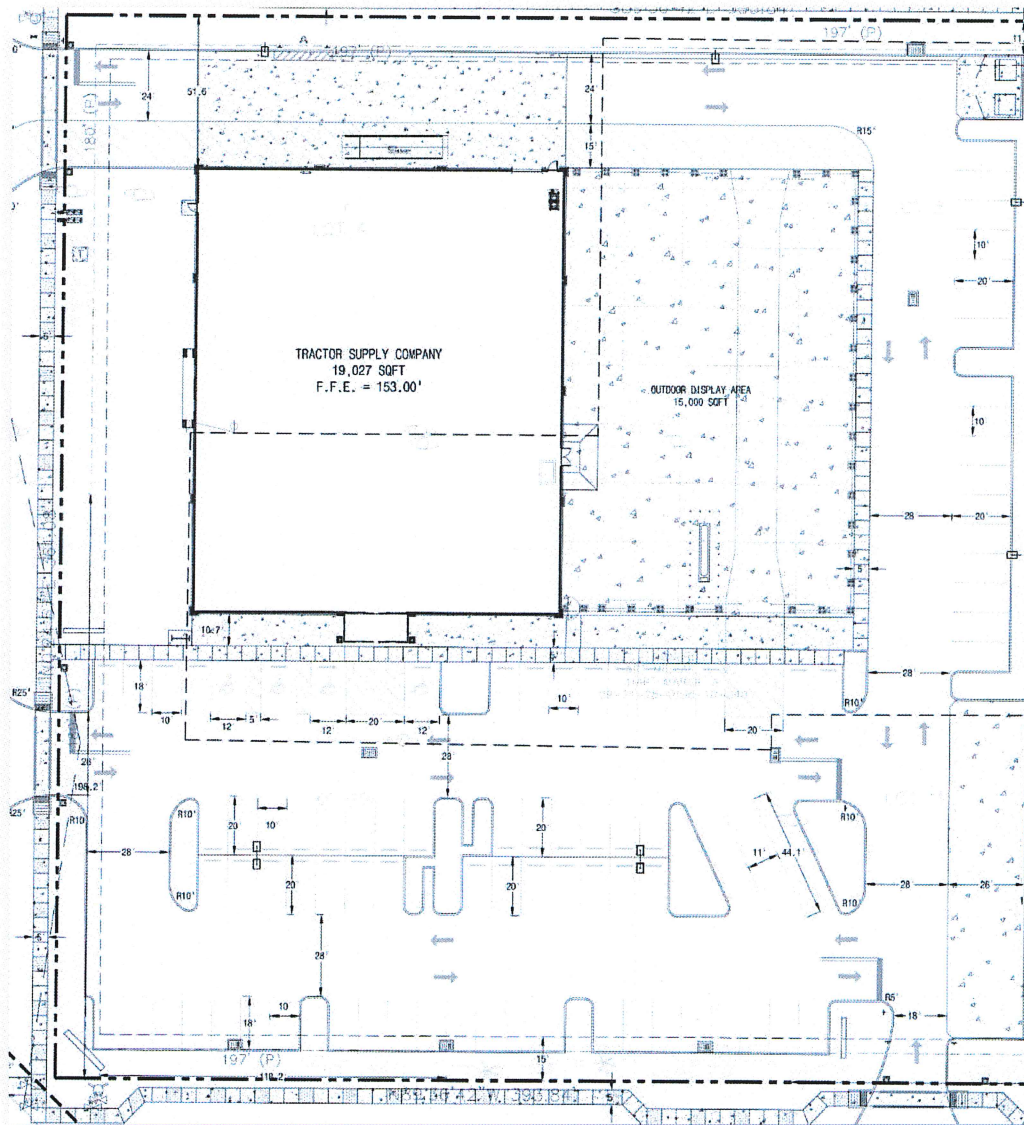


Figure 2 – Proposed Site Plan

Parking Requirements (City Code)

In accordance with City Code, the required off-street parking supply for the store is calculated using the general business category provided in Section 6.03.02 of the City Code. General business establishments are required to provide parking at a ratio of 1 space / 300 square feet of gross floor area. Gross floor area is defined as the “gross horizontal area of all floors of a building”. Using this ratio, the parking requirement for the Tractor Supply Company store is 63 parking spaces, calculated as follows:

Gross Floor Area = 19,027 SF
Parking Ratio = 1 space / 300 SF
Required Parking = 19,027 SF / 300 SF = 63.4 spaces, or 63 parking spaces

As note previously, the site provides 91 parking spaces, which exceeds the minimum required parking in accordance with City Code.

Outdoor Display Area

The outdoor display area is not addressed by the City Code in terms of parking requirements. Outdoor areas do not generate parking demand at the typically measured ratios and are therefore not included in the parking requirement calculation. However, City staff has expressed concern over the effect of this area and the overall floor area (internal and external) on parking supply. In order to address those concerns, a review of similar sites was conducted to determine if the proposed parking supply is consistent with the parking demand generated by the proposed Tractor Supply Company store.

Typical Parking Supply

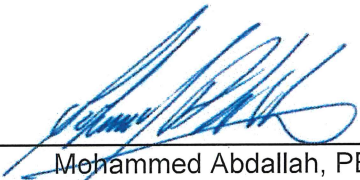
Three similar Tractor Supply Company stores were reviewed for comparative purposes. The stores presented in **Table 1** below are existing or approved locations in Florida. They all include a standalone building, an outdoor display area, and a dedicated parking field. The table provides the building and outdoor area for each site and calculates a parking ratio for each area based on the parking supply provided at the site. This allows the reviewer to compare the parking supply as required calculated on the building size only, and as required based on the total display area (including outdoor area).

**Table 1
 Comparative Parking Supply**

Store Location	Size (sq ft)		Parking Supply	Parking Supply Ratio	
	Building	Outdoor		Building	Total
Crawfordville	19,097	15,000	71	1 sp/269 sf	1 sp/480 sf
Palm Coast	18,800	18,000	88	1 sp/214 sf	1 sp/418 sf
Lake City	21,901	17,500	89	1 sp/246 sf	1 sp/443 sf
<i>Average Parking Ratios</i>				<i>1 sp / 243 sf</i>	<i>1 sp / 447 sf</i>
Apopka (Proposed)	19,027	15,000	91	1 sp/209 sf	1 sp/374 sf

It is evident from this review that the typical parking supply at the Tractor Supply Company stores is 1 space / 243 square feet of building area. When calculated based on the total area, including the outdoor display area, the parking supply ratio is 1 space / 447 square feet. The proposed store in Apopka provides a higher parking ratio than those observed, with 1 space / 209 square feet of building area and 1 space / 374 square feet of total area.

Based on this review and the typical operations of the Tractor Supply Company stores, it is determined that the parking supply of 91 parking spaces at the proposed Apopka site exceeds the requirements of Section 6.03.02 of the City Code and is sufficient and adequate to accommodate the parking demand generated by the site. Therefore, it is respectfully requested that the parking supply as presented in the proposed site plan is approved for the Tractor Supply Company store in the City of Apopka.


 Mohammed Abdallah, PE
 FL PE № 56169
 September 7, 2016

ATTACHMENTS

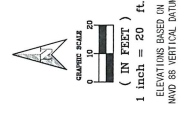
TRACTOR SUPPLY AT APOPKA



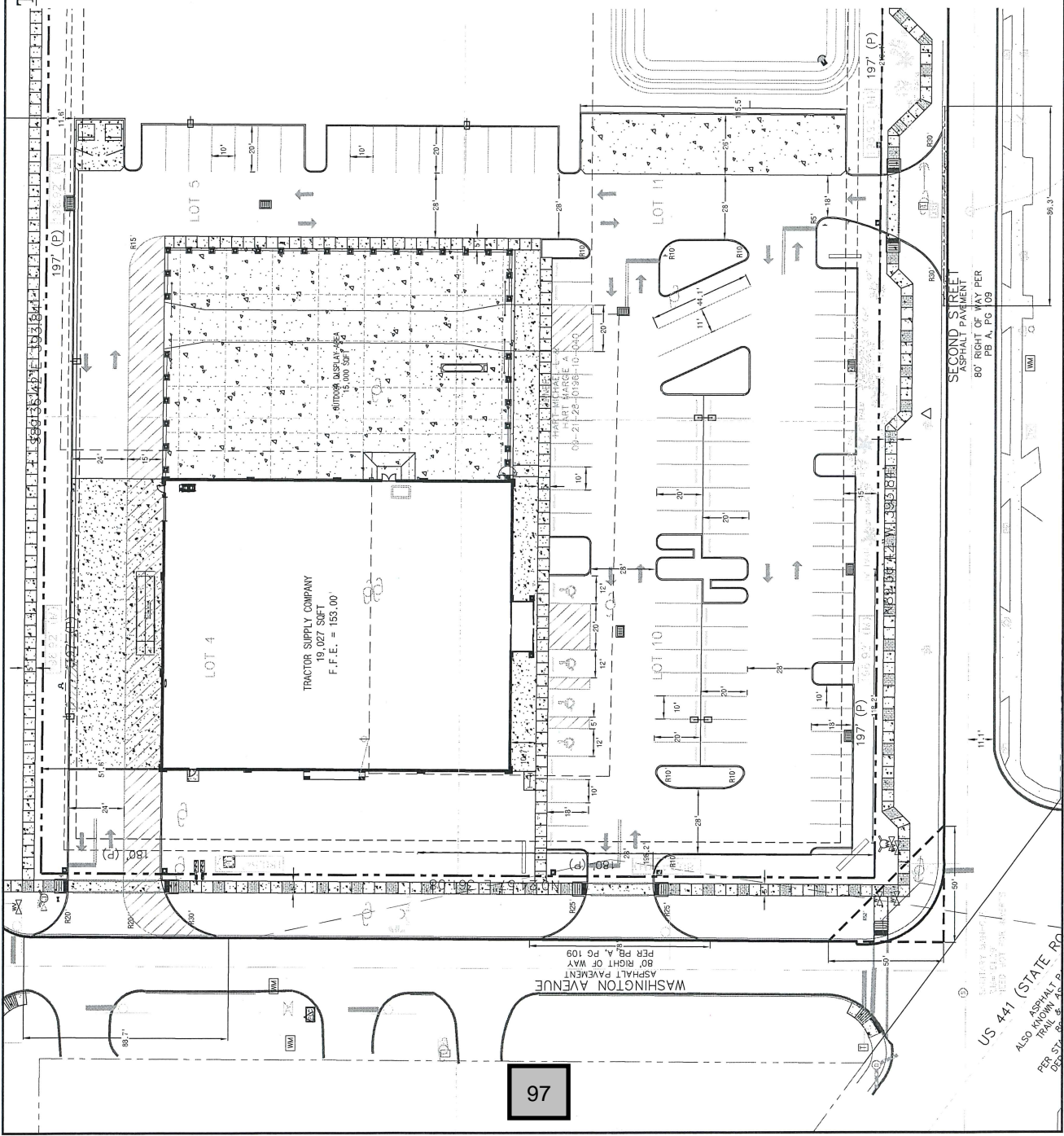
PROJECT: TRACTOR SUPPLY - APOPKA
 HANLEY DEVELOPMENT
 Commercial Real Estate Development

HANLEY CIVIL, LLC
 2020 SOUTH MAIN
 SUITE 1000
 APOPKA, FL 32015
 TEL: 386.755.1100
 FAX: 386.755.1101

NO.	DATE	DESCRIPTION / ISSUE



PROJECT: 215.016
 SHEET: C1.1
 DATE: 10/18/2015
 SCALE: 1" = 20'
 TRACK MOVEMENT





Jr Knight & Associates Development Engineers
 208 P.O. Box 1079
 Gulf Breeze, Florida 32562
 Phone: 904.331.5555
 Fax: 904.331.5555
 Website: jrknights.com



PROJECT AREA: 5.69 ACRES
 PARCEL ID. NO. 35-34-0340-040
 ZONED: C1 (COMMERCIAL INTERMEDIATE)
 BUILDING SETBACKS:
 SIDE: 0'
 REAR: 15'
 FRONT: 15'



PREPARED FOR:
 TRACTOR SUPPLY COMPANY
 200 POWELL PLACE
 BREITWOLD, TENNESSEE 37027
 Phone: 615-894-7424 (TX)
 Fax: 615-894-7424 (TX)

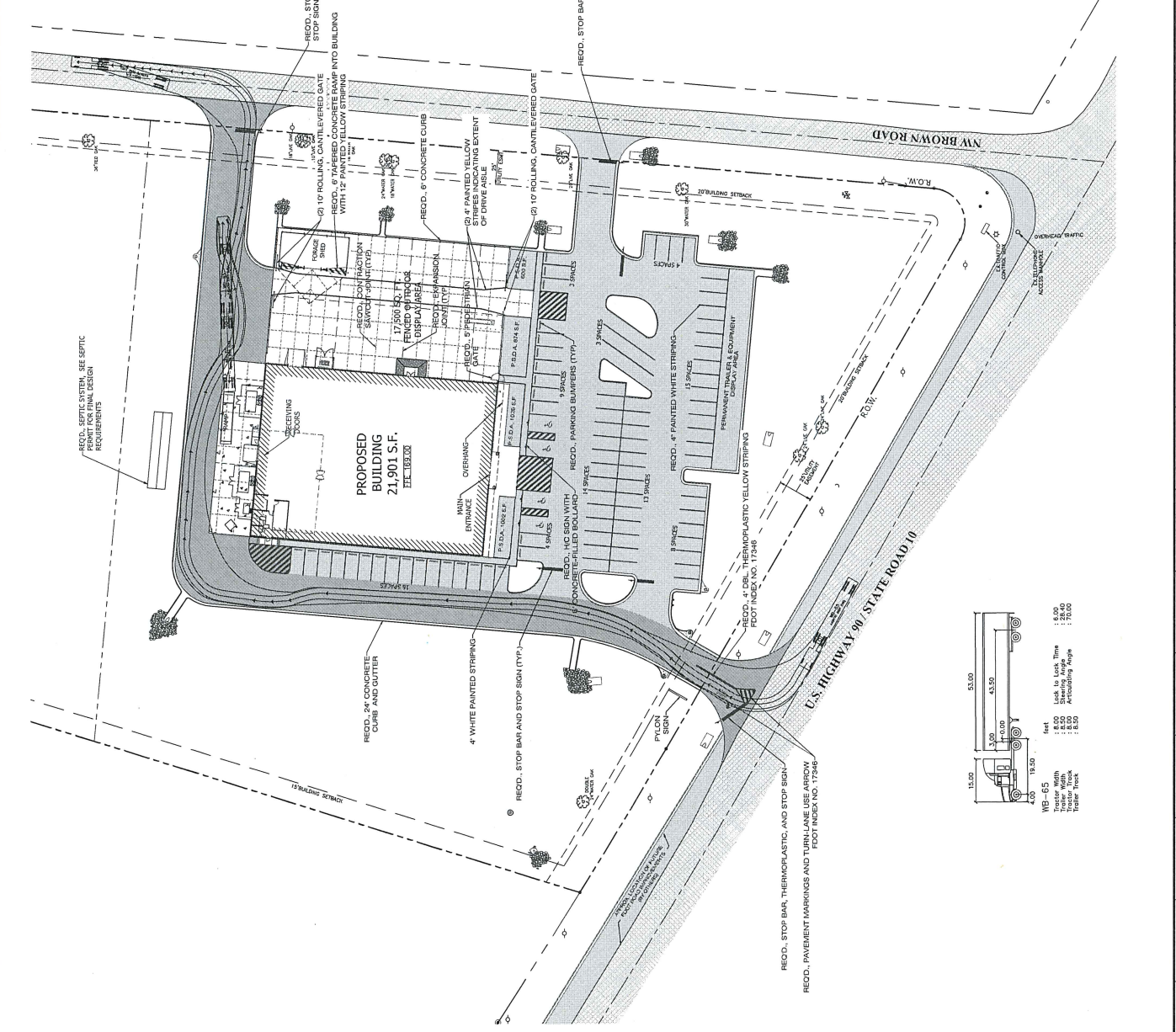
SITE DATA
 PROJECT AREA: 5.69 ACRES
 PARCEL ID. NO. 35-34-0340-040
 ZONED: C1 (COMMERCIAL INTERMEDIATE)
 BUILDING SETBACKS:
 SIDE: 0'
 REAR: 15'
 FRONT: 15'

PARKING SPACES REQUIRED: 89 SPACES
 MINIMUM REQUIRED OFF-STREET PARKING LANDSCAPED AREA: 10%
 (TOTAL OFF-STREET PARKING AREA: 35,944 SF)
 LANDSCAPED AREA PROVIDED: 3780 SF (10.1%)

REQD. SEPTIC SYSTEM. SEE SEPTIC PERMIT FOR FINAL DESIGN REQUIREMENTS.
 REQD. STOP BAR AND STOP SIGN (TYP.)
 REQD. 24\"/>

REQD. STOP BAR AND STOP SIGN (TYP.)
 REQD. 4\"/>

REQD. STOP BAR AND STOP SIGN (TYP.)
 REQD. 4\"/>



WB-65
 Wheel: 15.00
 Height: 19.50
 Length: 53.00
 Width: 43.50
 Load to back: 8,000 lbs
 Steering axle: 28,400 lbs
 Axle spacing: 108.00
 Trailer track: 108.00

REQD. STOP BAR, THERMOPLASTIC AND STOP SIGN.
 REQD. PAVEMENT MARKINGS AND TURN-LANE USE ARROW FOOT INDEX NO. 17346